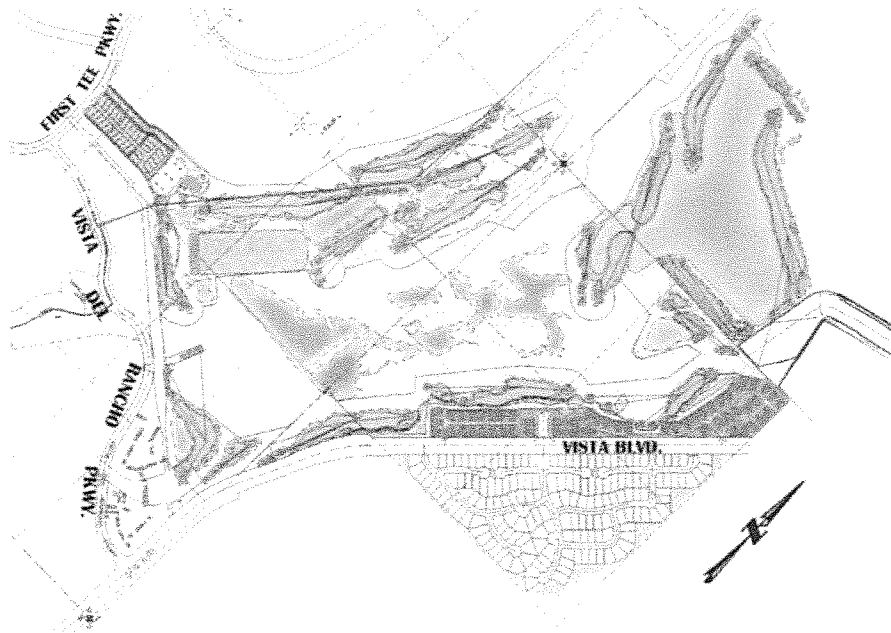


6.4

# KILEY RANCH NORTHEAST GOLF COMMUNITY

Final Development Plan  
Design Standards and Regulations

Sparks, Nevada



January 2003  
Revised April 2003  
Final July 2003

Approved by City Council \_\_\_\_\_

Job Number  
21360-00

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CIVIL ENGINEERS • PLANNERS • SURVEYORS • LANDSCAPE ARCHITECTS

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Kiley Ranch Northeast Golf Community

Appendices

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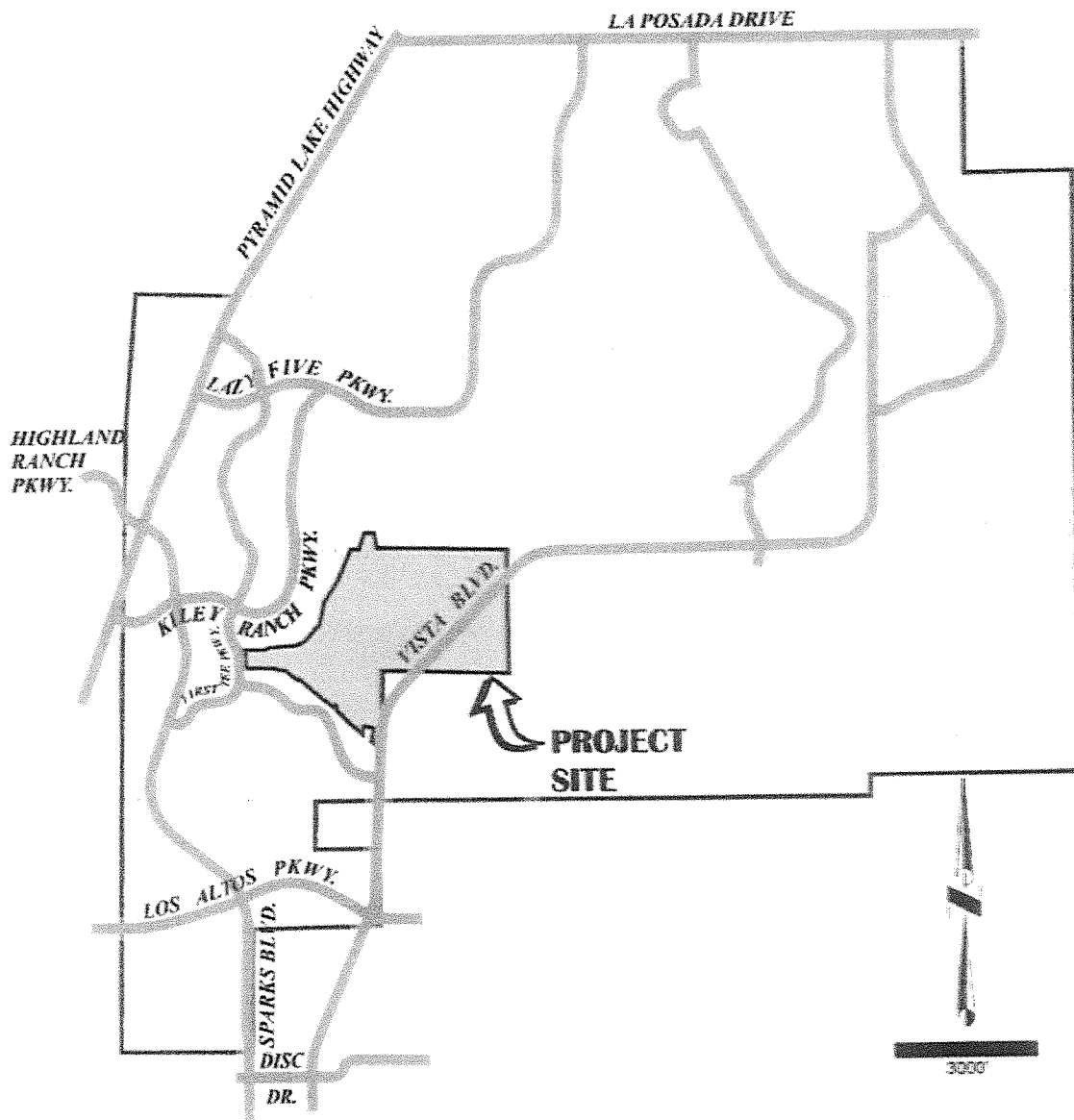
Kiley Ranch Preliminary Landscape Palette



# CHAPTER 1 KILEY RANCH NORTHEAST GOLF COURSE COMMUNITY

## I. PROJECT DESCRIPTION

The intent of this Kiley Ranch Northeast Golf Community application is to divide approximately 279 gross acres of land into five parcels for future residential, golf course and open space uses. Currently, 13 existing parcels from Land Division Map #38 will require a Boundary Line Adjustment to rearrange the parcels to create the annexation line and to create the five development parcels for future development where each of the five parcels will also be divided to support the phasing of the project. The goal is to create a quality, attractive neighborhood that provides a much needed public recreational facility, preserves a significant amount of open space and provides a variety of housing choices not found in most other areas of City of Sparks Sphere of Influence. The following applications for annexation, master plan amendment, development plan, and design standards and regulations are intended to implement this goal. (Refer to *Figure 1-1* for project location)



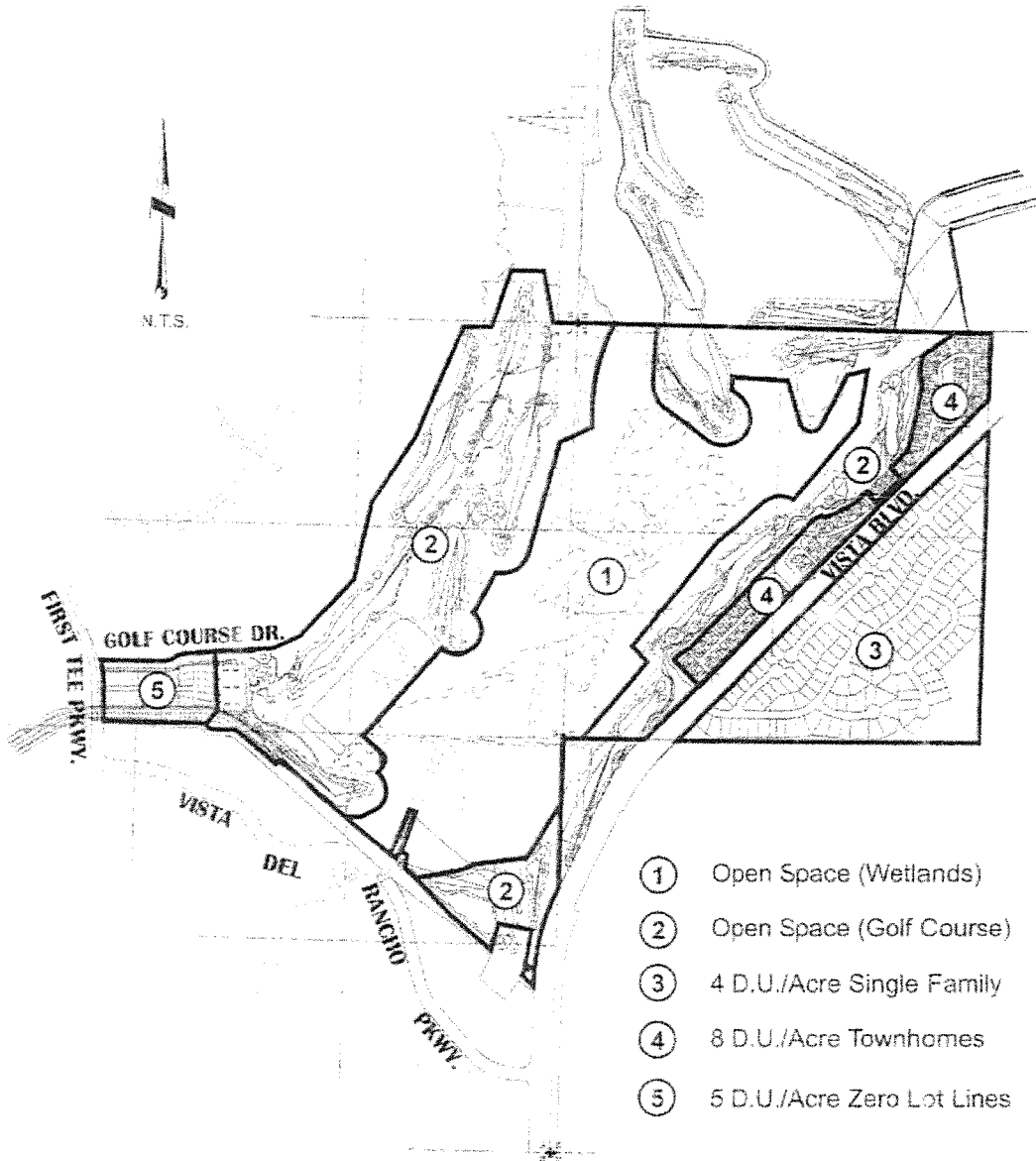
**Figure 1-1**  
**Location Map**



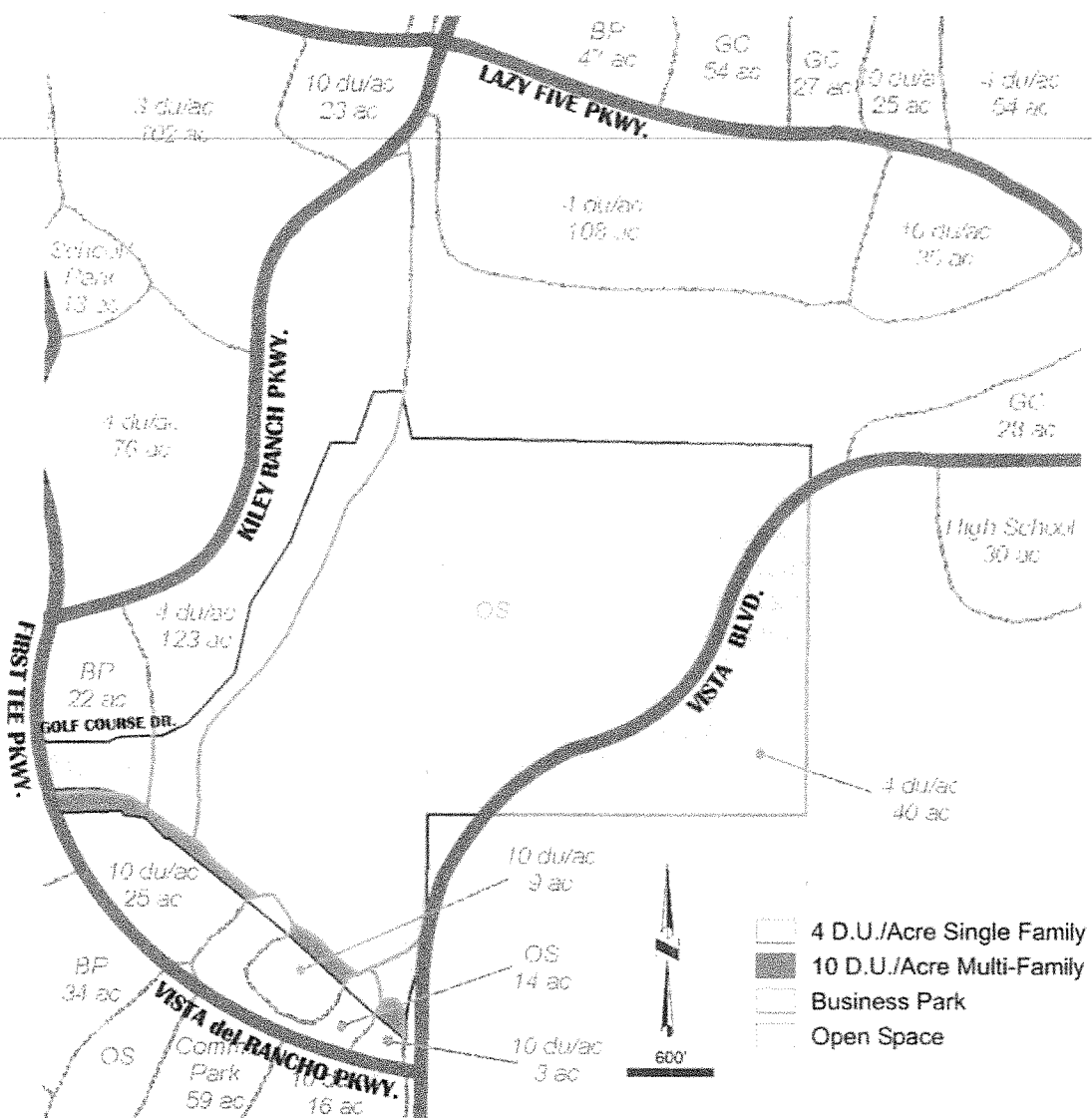
## A. REVIEW PROCESS

The attached five applications are intended to initiate the review and approval process necessary to accomplish the development of this community. Because the property is currently in the county, but in the 1995 Sphere of Influence of the City of Sparks, the property will first need to be annexed.

1. **Annexation** - There are five proposed development parcels currently owned by Kiley Ranch LLC and Lazy 5 Company, which will be annexed with this application (refer to annexation map in appendix). These proposed parcels will be created by a Boundary Line Adjustment (BLA) map that will re-arrange the existing 13 parcels into the 5 development parcels including some phase lines. This BLA will be recorded prior to finalizing any portion of the development plan and submitted for review and approval prior to city council review and approval of the first final map. The annexation map will be finalized with the recording of the initial BLA to establish the annexation line, with approval of these initial applications.
2. **Master Plan Amendment** - The existing Sphere of Influence land use plan for this property was not based on detailed topographic or boundary surveyed information. The result is the existing land use plan does not accurately reflect existing topographic features, property ownerships, or any real development plan. In order to accomplish the proposed community, the land use plan will need to be modified to reflect a realistic development plan.
3. **Re-zoning/Planned Development** - The property is currently designated per the Northern Sparks Sphere of Influence Plan. As a function of this application, the property is being requested for "NUD" or a New Urban District designation and "A-40", Agricultural 40 acre minimum lot size. (Refer to *Figure 1-5*) The wetlands parcel, Development Parcel 1, may either be zoned NUD, if dedicated to the City of Sparks, or A-40, if the Kiley Ranch retains ownership. Development Parcel 2 will be zoned A-40 initially. No development can move forward on this parcel until a re-zoning request is submitted in the 2005 time frame due to tax consequences of prior year corporation changes.



**Figure 1-2**  
**Master Plan Amendment Development Parcels**

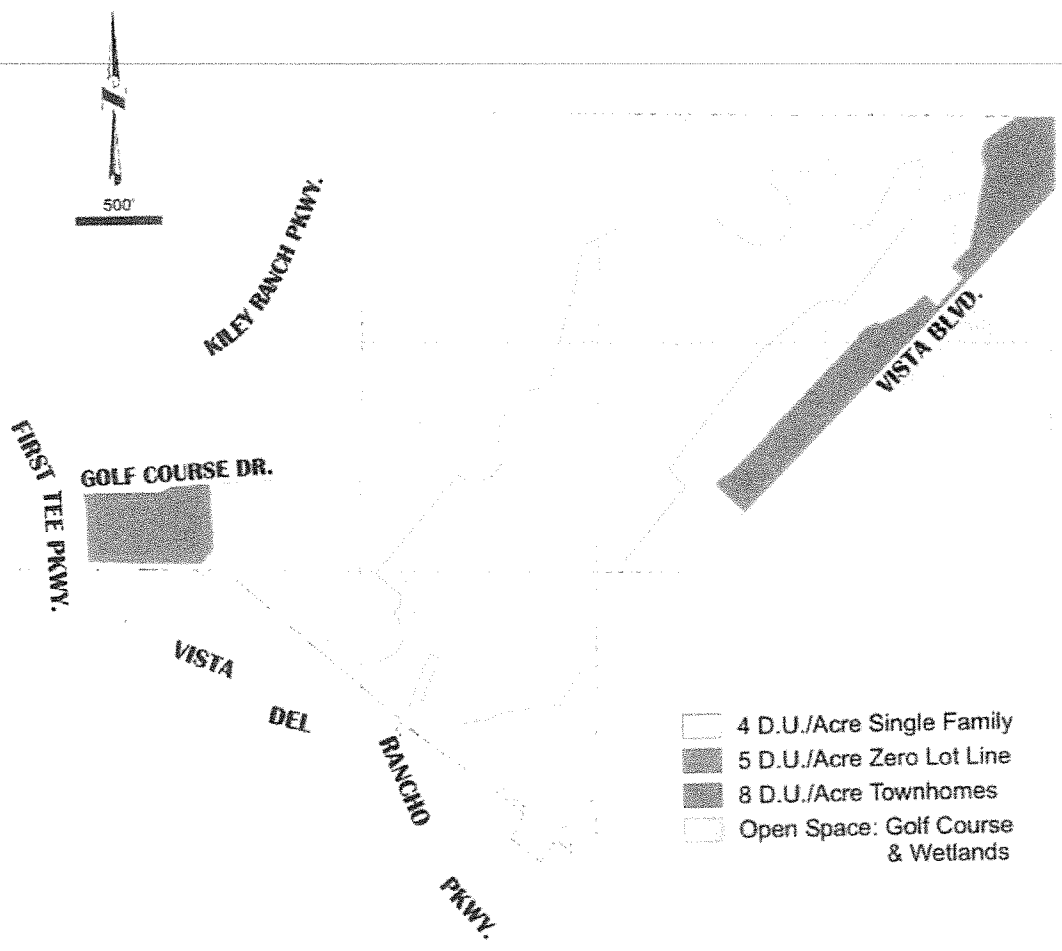


**Figure 1-3**  
**Adopted Land Use – 1991 Version**

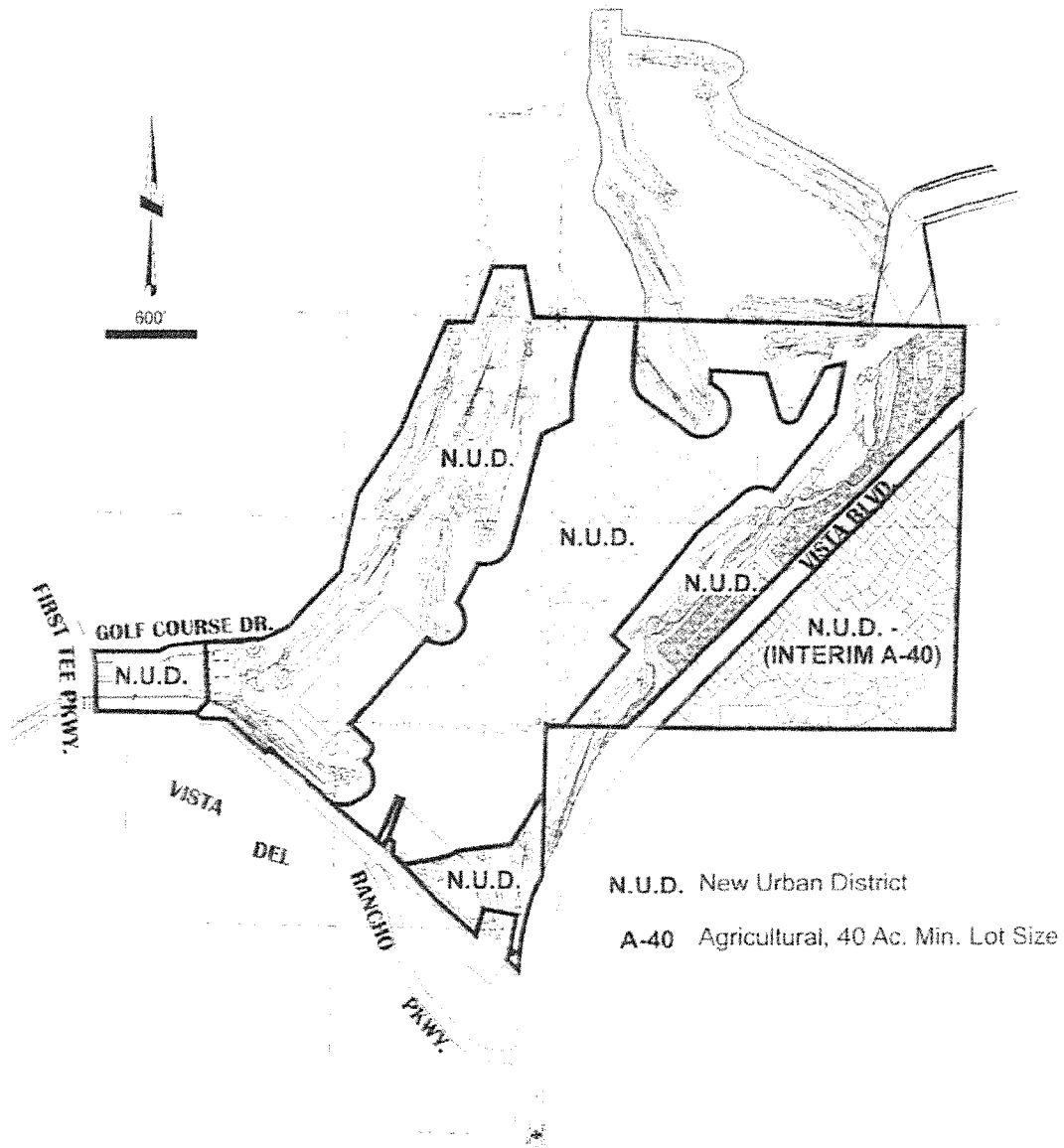
There are five development parcels involved in the proposed amendment (refer to **Figure 1-2**). The following chart titled "Summary of Comprehensive Plan Amendment Request", **Table 1-1**, documents the currently adopted land use plan, (refer to **Figure 1-3**) acreage and approved dwelling units for the parcels involved with this application. The proposed land use plan (refer to **Figure 1-4**) proposes significantly less density, and less dwelling unit count, than is currently adopted. This application re-arranges the locations of the various uses to match the proposed project. The open space originally envisioned in the land use plan, has been incorporated into the golf course and open space portion of the property as a central open space feature. (Refer to Design Standards and Regulations) A small segment of the proposed project will also accommodate the regional trail network along the golf course edge and dam as originally approved with the NSSOI plan. (Refer to **Figure 1-5** in Chapter 1 & **Figure 2-2** Design Standards and Regulations, Chapter 2)

The Spanish Springs Sphere of Influence Plan, Public Services and Facilities section on page 7 designated a part of this application as a potential Regional Park. The plan states, "should a purchase agreement not be reached, the private land (40 acres) will resort to residential area." Plate 15 of the SOI plan designates this land for 4 D.U./acre density. Refer to appendix.

Only a very small portion of the originally envisioned Regional Park and Senior High School site is left. Based on prior changes to the surrounding BLM land, a majority of the land was exchanged for other open space land in other areas.



**Figure 1-4  
Proposed Land Use**



**Figure 1-5  
Proposed Zoning**

Table 1-1

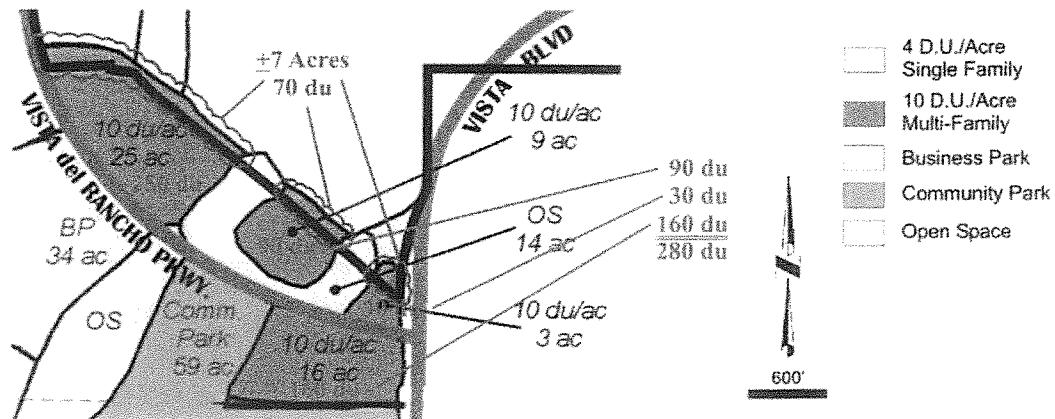
NSSOI

SUMMARY OF COMPREHENSIVE PLAN AMENDMENT REQUEST

Parcel No.	Adopted Land Use Designation	Adopted Acres	Adopted D.U.s	Proposed Land Use Designation	Proposed Acres	Proposed D.U.s
1	OS	± 91	∅	OS (Open Space)	± 91 ac	0
2	4 d.u./a.c. 10 d.u./a.c. OS	23 ac 7 ac <u>92 ac</u> ± 122	92 <u>70</u> 162	OS (Golf Course)	± 122 ac	0
3	4 d.u./a.c.	±44 ac	176	4 d.u./a.c.	± 44 ac	158
4	OS	±15 ac	∅	8 d.u./a.c.	± 15 ac	108
5	BP (Business Park)	±7 ac	∅	5 d.u./a.c.	±7 ac	30
Total		±279 ac	338		±279 ac	296

## DWELLING UNIT PER ACRE TOWNHOUSE LAND USE JUSTIFICATION

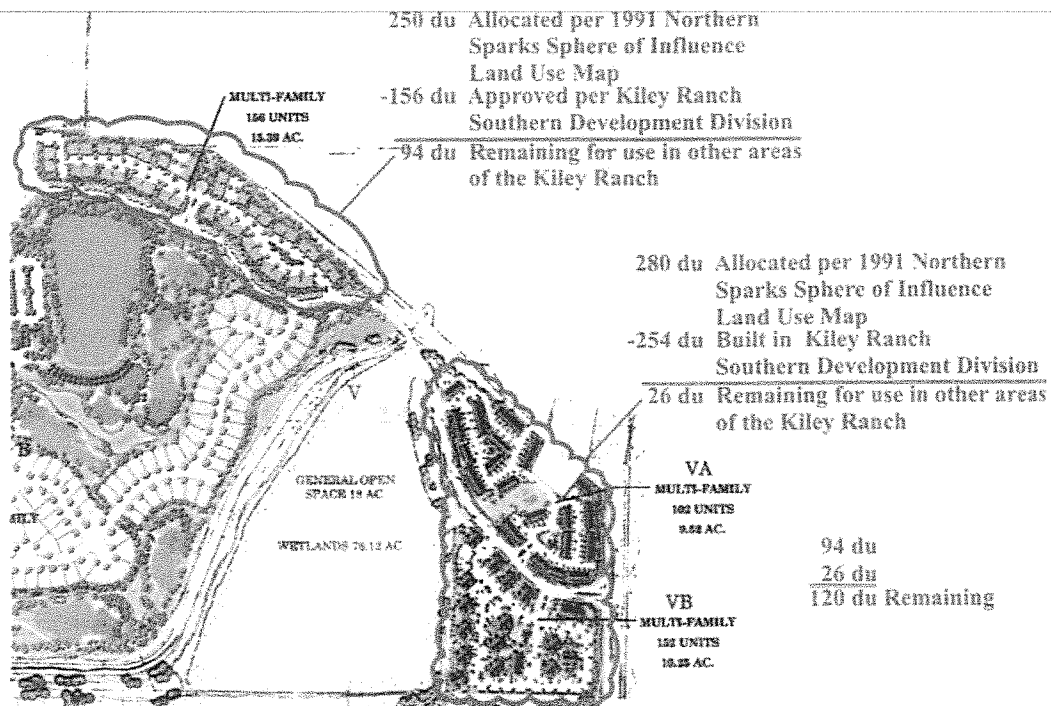
The 1991 Northern Sparks Sphere of Influence Land Use map was a conceptual, bubble diagram type of land use plan map. With its use as a base for the determination of voluntary infrastructure fees, it became necessary to quantify this bubble diagram. The City of Sparks hired a consultant who created an AutoCAD drawing of this bubble diagram that included gross acreages for each segment of the map. This is the map that has been used since the early 1990's to review project proposals. **Figure 1-6** illustrates this map in the area of the Sparks Detention Dam Facility. This is the land use information used to determine existing densities as illustrated in **Table 1-1**, Parcel #2.



**Figure 1-6**

This map illustrates that there were 530 units at 10 du's per acre approved in the original NSSOI plan in the area. Based on a proportional project boundary for this portion of the Kiley Ranch, approximately 7 acres or 70 dwelling units could be allocated to the Northeast Golf Community. This 10 du per acre designation was used to justify the 8 du acre townhouse designation. These units were moved north along Vista Boulevard to be utilized in the townhouse Parcel 4.





**Figure 1-7**  
**Density Approved Near Sparks Detention Facility**

**Figure 1-7** illustrates the adopted and partially constructed density in this area per the Kiley Ranch Southern Development Division Handbook. Given this adopted density, there are 120 units at 10 du's per acre remaining for use in other areas of the Kiley Ranch, including the Northeast Golf Community. This is again based on the adopted 1991 NSSOI Plan. The seven (7) acres or 70 dwelling units allocated to the Northeast Golf Community project is a conservative allocation.

## B. GOALS AND POLICIES CONFORMANCE

This proposal addresses the following goals and policies contained in the Sphere of Influence Plan:

### 1. CONSERVATION

#### CULTURAL AND SCENIC RESOURCES

SIP 1.1 Ensure that the primary scenic views of the planning area from the Pyramid Lake Highway and Spanish Springs Road are protected.

SIP 1.1.1 A minimum 25 foot buffer should be provided between all property lines and pavement along all arterial streets. Fences, walls, or structures should be discouraged in these areas. Development design shall be encouraged to maintain a compatible landscaping theme for buffer areas throughout the planning area.

*Vista Boulevard frontage provides over 30 feet of landscaped buffer area on both sides of the roadway.*

#### LAND RESOURCES

SIP 2.1 The significant natural features (including creeks, natural slopes, rocks and views) should be retained and used to maximum advantage.

*Over 76% of the total land area incorporated into this project is retained in open space and open space uses.*

#### WATER RESOURCES

##### STORM DRAIN/FLOODPLAIN

SIP 3.1 Restrict development on floodplains in the City of Sparks Sphere of Influence planning area that would increase the 100-year floodwater levels or peaks flows. Flood flows from the planning area will not exceed the capacity of the downstream storm drainage facilities on the North Truckee Drain.

*The proposed plan preserves the flood pool area of the Sparks Detention Facility and provides an opportunity to increase the storage capacity of the flood pool with the golf course development.*

SIP 3.1.1 The Federal Emergency Management Agency (FEMA) Flood Insurance maps shall be used as the basis for delineation of floodplains and floodways, unless more recent research and

surveys are presented and accepted by FEMA, which establish a more accurate delineation.

- SIP 3.1.2 The Regional Flood Control Master Plan, when adopted, will replace any interim requirements and will be used in determining the construction, financing, and timing of flood control and runoff management facilities.
- SIP 3.1.3 The City of Sparks should participate in a region wide financing mechanism. Such as General Improvement District or Special Assessment District, to fund the construction and maintenance of flood control/storm drain improvements as specified in the Regional Flood Master Plan.

***The City of Sparks Impact Fee Area One now provides the base hydrology model and financing tool to implement this Master Plan policy.***

- SIP 3.1.4 The City of Sparks should submit the proposed Spanish Springs Flood Control Plan alternatives to the Regional Water Resources Management Agency for consideration, and possible inclusion, as part of the Washoe County Flood Control Master Plan. These alternatives include (see Plates 6 & 7):
- a. Route Basins 1-8 to Boneyard Flat with full channelization and establish detention basins for 27 and 29a with restriction of flow from Spanish Springs Detention Facility (SSDF).
  - b. Full channelization and detention for basins 27 and 29a with restriction of flow and increase of spillway elevation and floodpool at SSDF.
  - c. Require detailed drainage analysis of individual developments and, if necessary, require on-site detention or other improvements for an interim period until one of the alternative regional facilities can be constructed.

***Detailed hydrology analysis will be provided with final development plan submittal for each phase of the project.***

- SIP 3.1.5 Development will provide detailed drainage analysis of the project. If necessary, the project will provide on-site detention or other improvements as needed for an interim period until alternative regional facilities can be constructed. Development in FEMA mapped flood areas, which do not provide for flood control alternatives (e.g. channelization or detention) must follow applicable regulations and ordinances for construction.

***Additional storage capacity within the flood pool will be created to accommodate required detention for the developed portions of the project.***

SIP 3.1.6 New developments are to evaluate and develop storm drainage improvements which will insure that the Spanish Springs Detention Facility remains hydraulically equivalent to the existing design parameters.

SIP 3.1.7 Development will provide such on-site detention and drainage facilities as are needed to ensure that development of the site does not adversely impact downstream properties.

***Additional storage capacity within the flood pool will be created to accommodate required detention for the developed portions of the project.***

SIP 3.2 Encourage the use of "naturalistic" stabilized (non-geometric or concrete lined) channels to reduce velocities, encourage on-line detention, provide for groundwater recharge where feasible, encourage provision of open space and creation of additional wetlands. Utilize the design guidelines established in Plate 6A and 6B to review development proposals adjacent to designated corridors

***The design standards sections provides design parameters that will implement this plan policy***

SIP 3.3 Encourage the use of detention in existing potential wetland areas, open space and recreation areas, and in areas where soil conditions would provide for groundwater recharge.

SIP 3.3.1 Provide treatment measures for storm water runoff to prevent degradation of groundwater quality.

***The design standards sections provides design parameters that will implement this plan policy by providing additional wetland opportunities, increasing groundwater recharge and improving ground water quality with the addition of reclaimed water use.***

SIP 3.4 Require the multiple use of floodplains necessary to convey the 100-year storm.

SIP 3.4.1 Support FEMA map amendments that implement plan policies.

SIP 3.4.2 Require the use of floodplain areas for open space, trails, bikeways, recreation areas, wetlands retention and enhancement, utilizing the design guidelines to review all projects.

***The proposed plan provides for multiple uses of existing floodplain areas for open space, recreation and wetlands retention and enhancement.***

## WETLANDS

SIP 3.5 All areas shown as potential wetlands on Plate 9 shall have detailed studies performed to determine the actual extent of classified wetlands prior to development. Those areas not designated on the map shall not be required to obtain detailed studies.

SIP 3.6 Encourage the use of land use designation, density transfers, transfer of development rights and other planning techniques to encourage new development to locate outside of areas identified as wetlands, stream environments, playas, spring fed riparian and small aquatic habitats or to ensure that appropriate mitigation will be provided for development occurring in these areas.

SIP 3.6.1 All designated Federally Significant Hydrologic Resources (FSHR) shall be controlled by the Federal Manual regulations. The City of Sparks and Washoe County shall use the preliminary potential wetlands maps issued by the U.S. Army Corps of Engineers for Spanish Springs Valley, and other final wetlands maps when accepted by either the Environmental Protection Agency or the Corps, as the basis for determining FSHR.

***A detailed wetland delineation was prepared for this project and approved by the Corps of Engineers.***

SIP 3.6.2 Regionally Significant Hydrologic Resources (RSHR) shall be protected through programs that provide incentives for voluntary action.

SIP 3.6.3 Wetlands which would qualify under the Federal Manual regulations but which have not received 404 permits, may be protected at the landowner's request through the incentives available to RSHR's.

SIP 3.6.4 The area shall be planned to encourage no net loss of Federally Significant Hydrologic Resources (FSHR's) or Regionally Significant Hydrologic Resources (RSHR's) through voluntary incentives.

SIP 3.6.5 The design guidelines established in Plate 9A shall be used to review all development proposals within areas shown as potential wetlands.

***There will be no net loss of wetlands and preservation of existing wetlands by avoiding all impacts and encroachments by development.***

SIP 3.6.6 The City of Sparks shall establish a management program for the Regionally Significant Hydrologic Resources (RSHR) identified by the Truckee Meadows Regional Plan.

## 2. PUBLIC SERVICES AND FACILITIES

SIP 5.4 Provide linked open space corridors throughout the area planned for development to accommodate pedestrian, equestrian, and bicycle movement between residential and employment areas and major recreation nodes.

SIP 5.4.1 Support the use of natural drainageways as open space corridors.

SIP 5.4.2 Support the connection of open space corridors to the north in Washoe County and to the south in the existing City of Sparks.

*The proposed plan provides for a Regional Trail link and connection north to south.*

## 3. LAND USE

SIP 6.2 Encourage a mix of land uses and densities to promote a balanced community with residential, commercial, through architectural guidelines, signage and development standards restricted industrial, business and recreational areas.

SIP 6.3 Maintain an overall gross density of 2 dwelling units per acre in the planning area.

SIP 6.3.2 Support the concept of clustering throughout the planning area.

*The proposed plan provides a diverse mix of residential types and price ranges, maximizes the clustering of those residential types and provides a gross density well below 2 dwelling units per acre.*

## 4. ANNEXATION

SIP 8.1 Encourage and support annexation of all property within the Sphere of Influence by 2007.

*The project includes a request for annexation.*

## C. DEVELOPMENT PLAN

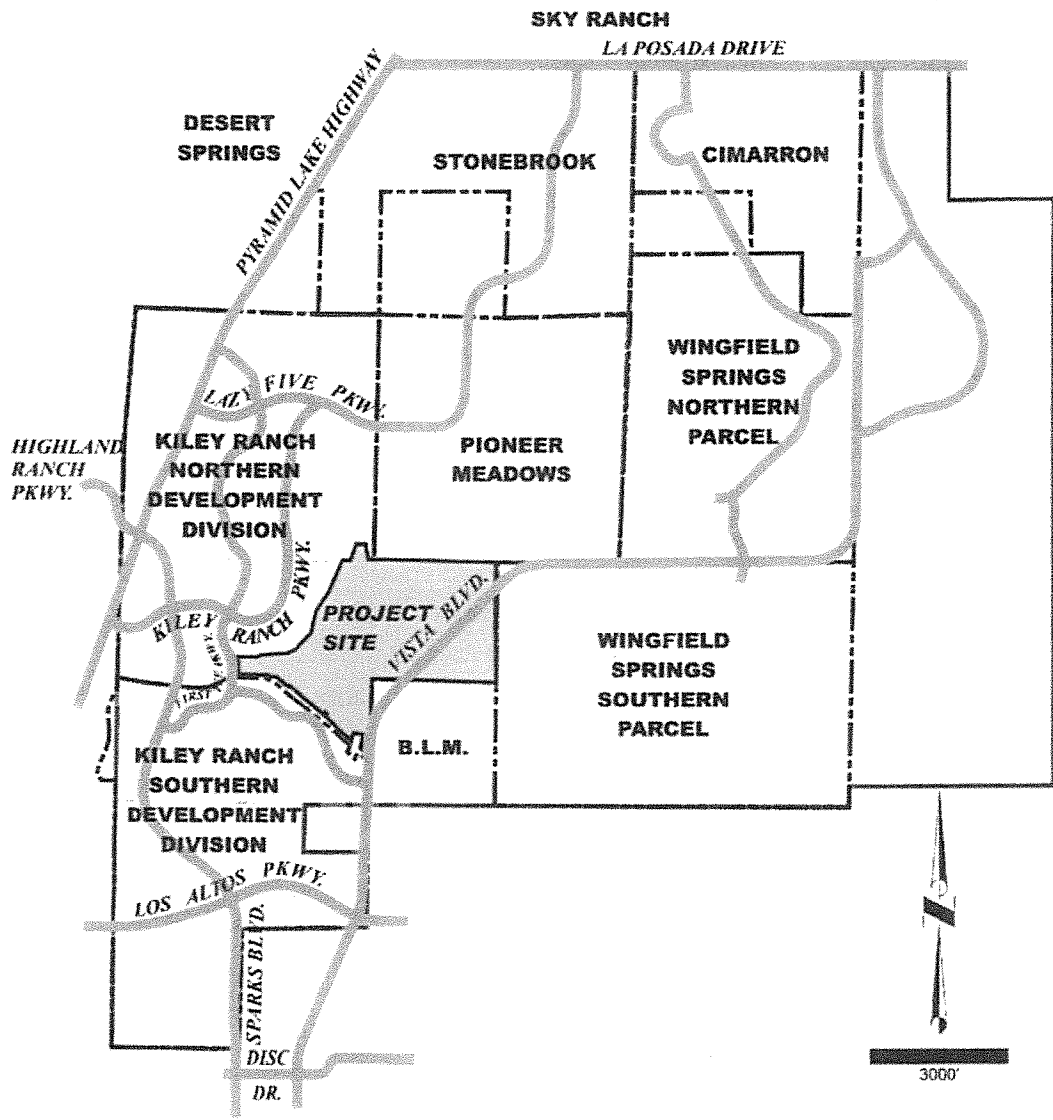
The purpose of the Kiley Ranch Northeast Golf Community is to divide approximately ±279 gross acres within the Northern Sparks Sphere of Influence into five (5) development parcels for future residential, golf course, and open space uses and to establish specific design criteria to effectively monitor the development of these parcels.

The intent of the Record of Survey Boundary Line Adjustment (BLA) is to create five (5) large development parcels; Parcel 1 - reservation or dedication to the City of Sparks of the wetlands to meet open space requirements in the northern Kiley Ranch; Parcel 2 dedicated for golf course use to the City of Sparks; and Development Parcel 3, 4, & 5 - which may be sold to various homebuilders for subsequent subdivision into individual building lots. The BLA will be created in pieces over time, first to establish the annexation line and subsequent BLAs to establish final parcels for sale or dedication as required prior to final approval of any portion or phase of the proposed development.

The intent of the Plan for Development Parcels 3, 4, & 5 is to establish the overall street and lot pattern concept for the residential portion of the future Planned Development (PD) or NUD. Separate subsequent conformance reviews and final maps will be required for each unit before any residential construction can commence.

### 1. Site Location Definition

The Kiley Ranch Northeast Golf Community Design Standards and Regulations relate to the development of ±279 acres in the Northern Sparks Sphere of Influence located in Washoe County, Nevada. The site is bounded on the west by an extension of First Tee Parkway and the working portion of the Kiley Ranch, on the north by Pioneer Meadows PD, on the east by the expansion of Wingfield Springs PD, the Sparks Detention Dam and BLM property. The property is part of the NSSOI planning area and encompasses some of the residential and open space land uses approved in that plan, *as shown in Figure 1-9.*

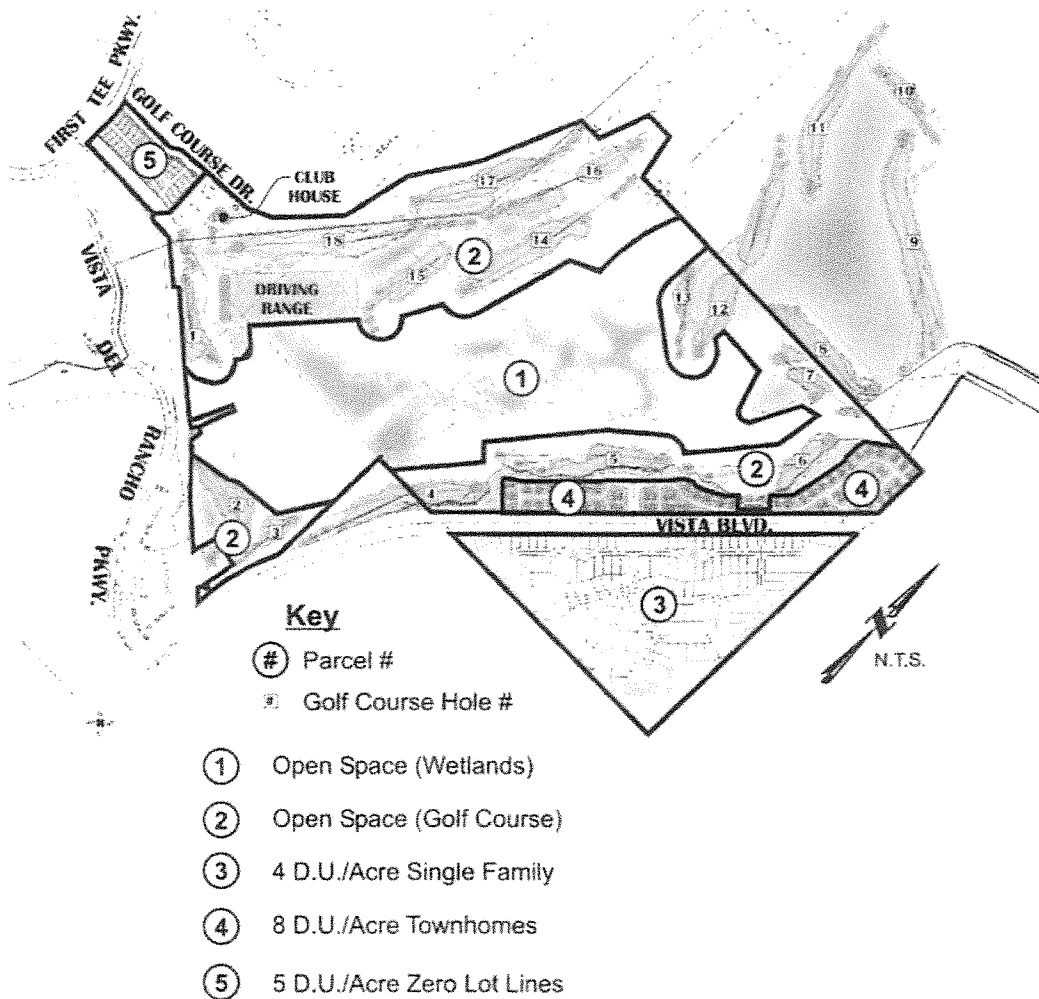


**Figure 1-9**  
**Location Map**



## 2. LAND USE

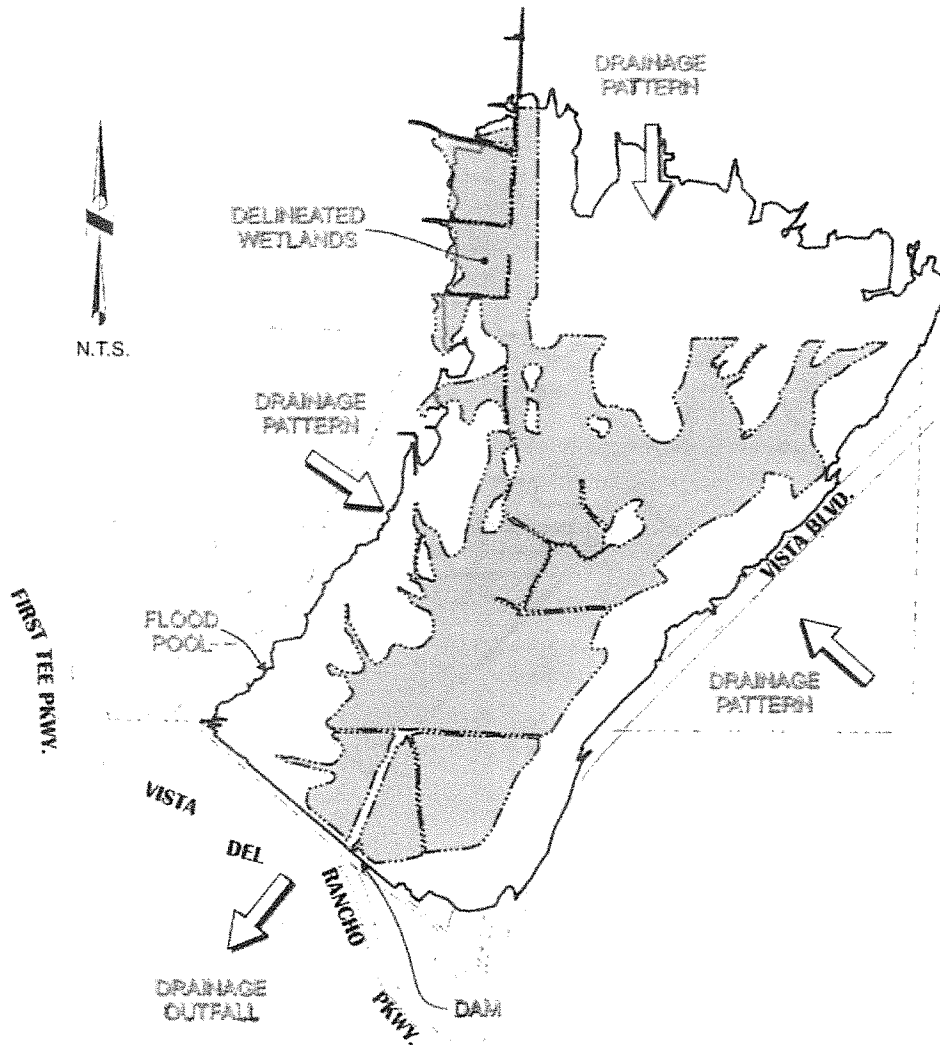
The Kiley Ranch Northeast Golf Community consists of a public golf course development, single-family residential development with housing densities ranging from 4 - 8 dwelling units/acre, and open space *as shown on Figure 1-10.*



**Figure 1-10**  
**Land Use Plan**

### 3. Site Features Influencing Site Plan Design

There are three major site features that significantly influence site design for this area of the Kiley Ranch; the flood pool and dam, delineated wetlands, and a combination of natural drainage flows and irrigation tail water flows. Refer to *Figure 1-11*.

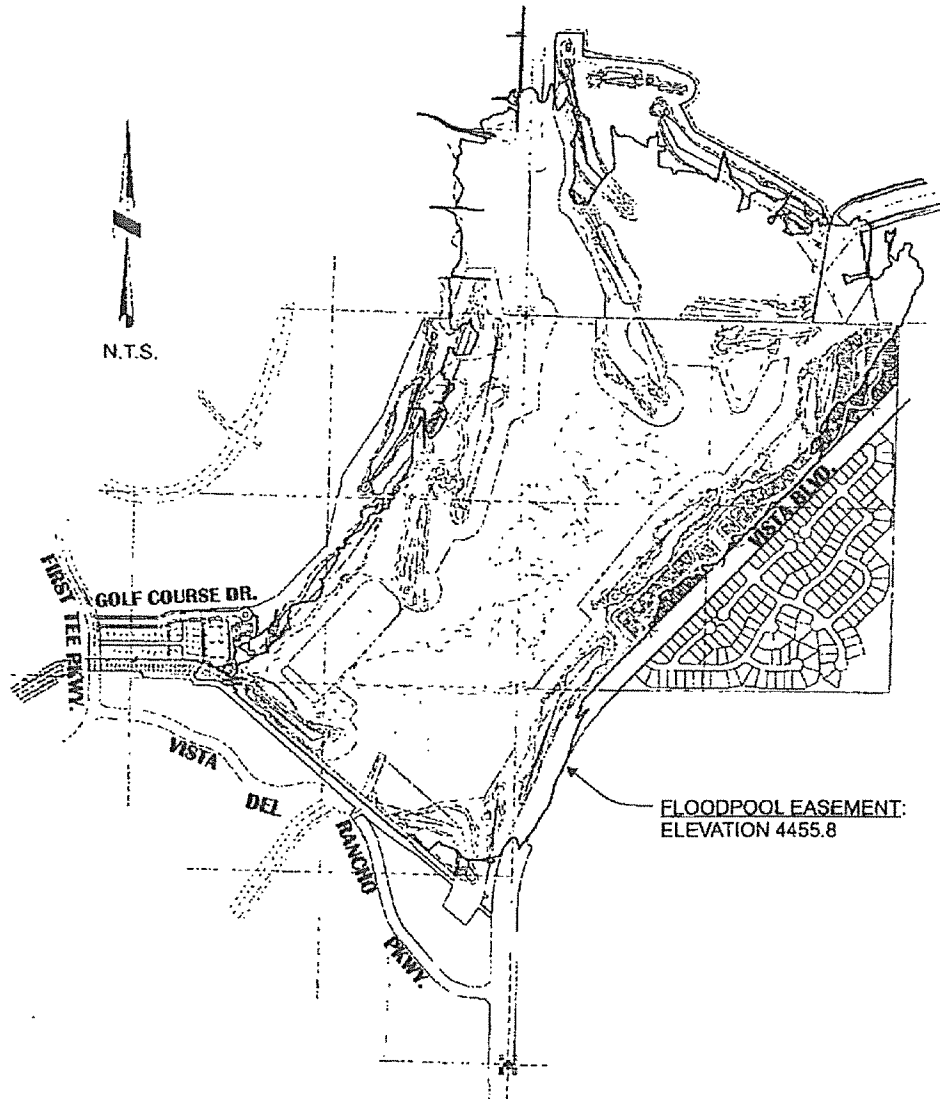


**Figure 1-11**  
**Dominant Site Features**

a. **Flood Pool and Dam**

The flood pool created by the City of Sparks Detention Dam at the south end of the project imposes several design limitations. The spillway of the dam establishes a storm water impoundment or storage area on the property. This area is defined by a recorded easement that allows the City of Sparks to store storm water on all properties below an elevation of 4455.8. Refer to *Figure 1-12* and appendix for specifics.

This design constraint limits development within this flood pool area by not allowing any decrease in storage volume within the flood pool, and establishing a floodplain elevation that requires all habitable structures to be built one foot above this elevation.

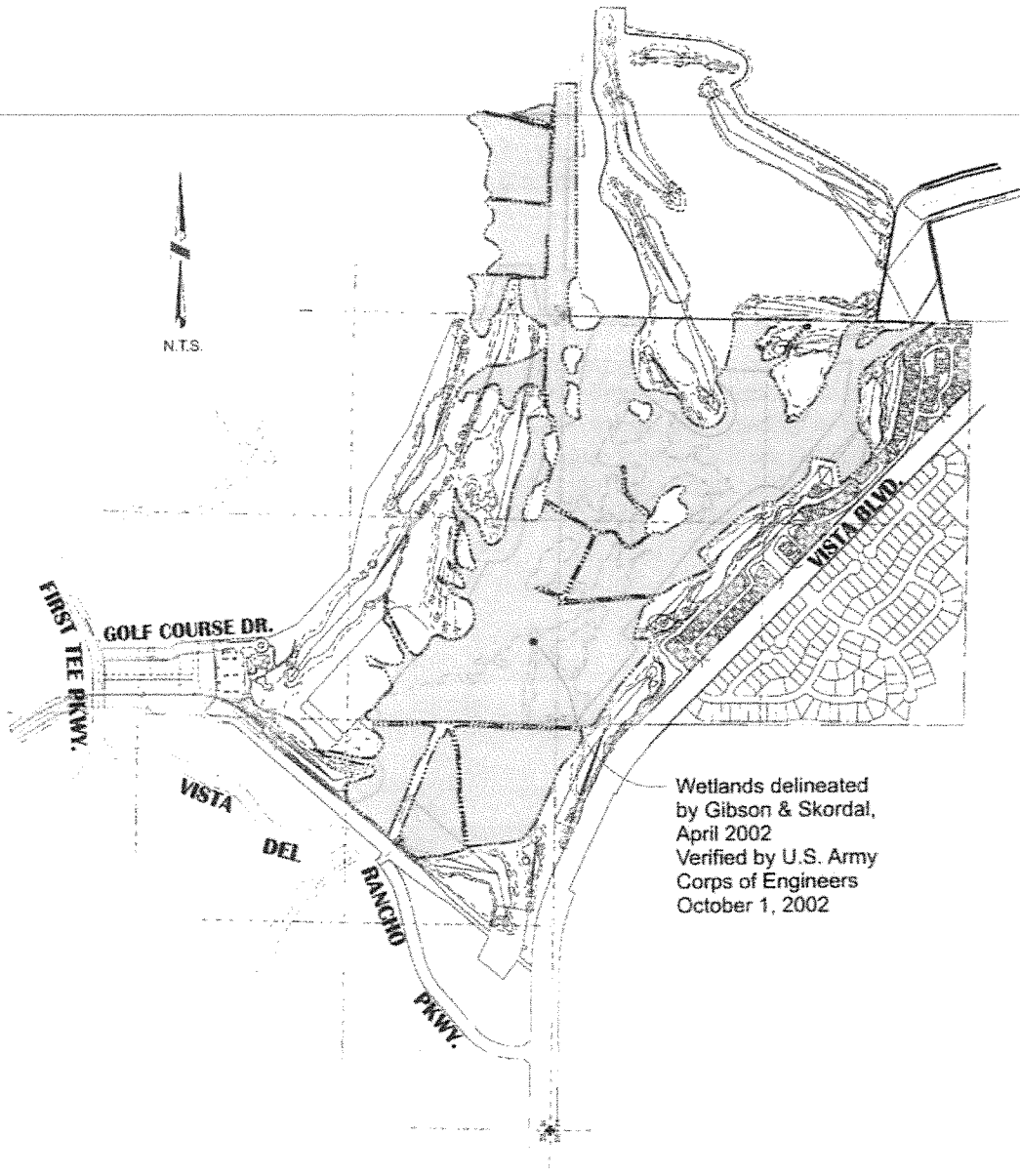


**Figure 1-12**  
**Flood Pool - Existing Easement**  
**Elevation 4455.8**

b. **Delineated Wetlands**

Gibson & Skordal, wetlands consultants, conducted a detailed delineation of the wetlands in this area of the Kiley Ranch in early April of 2002. The delineation was verified by the Corps of Engineers on October 1, 2002. Refer to appendix for details. The delineation resulted in establishing ±200 acres of wetlands in this area of the Ranch and ±91 acres within the project or final development plan area.

This jurisdictional area significantly limits all types of development within it, unless mitigation measures are taken and an individual 404 permit is applied for and obtained. This proposed project will utilize the "avoidance" strategy to retain all existing wetlands and not require an individual 404 permit and mitigation. Refer to Wetlands Development Parcel 1, Chapter 2 Development Plan, Design Standards and Regulations for additional details.



**Figure 1-13**  
**Jurisdictional Delineated Wetlands**

**c. Drainage Patterns and Irrigation Flows**

This area of the Kiley Ranch is a natural low area where both natural drainage from the west, east, and north converge, and irrigation flows, primarily tail water, flows from the west and north. The working ranch utilized a series of irrigation ponds built in the late 1800's to capture this drainage and irrigation water, store it, and re-use it further downstream in the southern part of the ranch. These drainage patterns will need to be accommodated with any type of development in the project.

**4. Land Use Breakdown**

Table 1 shows the breakdown of the property among the various uses. The proposed land division includes golf course, residential, and open space uses. The total number of dwelling units listed in Table 1-2 is approximate. The final lot count will depend upon the configuration of parcels as they are mapped over time by the subsequent homebuilder ("Parcel Developer"). The Land Use Table establishes a maximum density that will be allowed, with the actual unit count flexible up to the maximum.

**TABLE 1-2  
LAND USE BREAKDOWN**

Land Use	Approx Acres	Pct. of Total	Approx. Dwelling Units	Max. Density
Single Family Residential	±44		158	4du/ac.
Common Area	±6.9	15.68%		
Townhome Residential	±15		108	8du/ac.
Common Area	±4.5	30.00%		
Zero Lot Line Residential	±7		30	5du/ac.
Common Area	±2.2	31.43%		
Total Development Residential 3, 4, & 5	±66			
Total Common Area Parcels 3, 4, & 5	±13.6	20.61%		
Golf Course	±122.0			
Wetlands (% Allocated to future open space requirements)	±91.0		0	
Total	±279		296	

## 5. Residential Densities

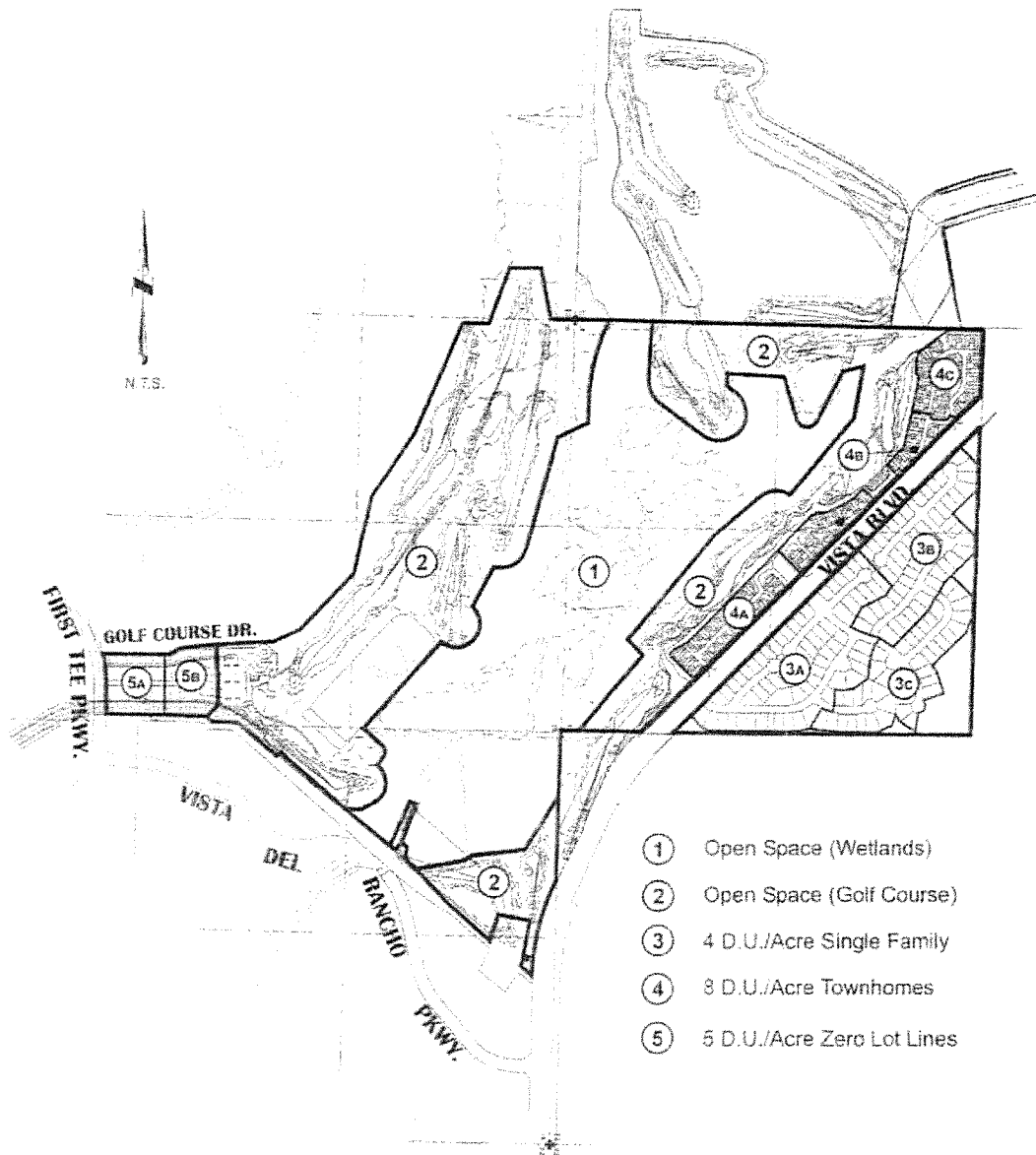
This project proposes single-family residential development in Parcel 3 at a density of four dwelling units per acre. The minimum lot size will be 6,000 square feet. Townhomes are proposed for Parcel 4 at eight (8) dwelling units per acre with a minimum lot size or building envelope of 2,000 s.f. It also proposes zero lot line, single-family residential in Parcel 5 at five (5) dwelling units per acre, with a minimum lot size of 4,000 s.f.

## 6. Phasing

It is anticipated that the Northeast Golf Community will be developed in three phases (*see Figure 1-14*). Phase I will include Development Parcels 4A and 5A, which will include the model parks for each housing product. Phase II is in the middle of the residential Parcels 4B and 5B, and Phase III is the remaining residential portion of the townhome housing product 4C and the initial phase of single-family 3A. Development of Parcel 3 will lag behind the remainder of the project by approximately 2 years. Parcel 3B and 3C will each be developed a year apart, with 3A starting at the end of Phase III of the other development parcels. Golf course development will either start prior to or simultaneously with Phase I of the residential portion. Golf course development will start once the City of Sparks or other government agency determines that it is economically feasible to sell bonds and construct the course. Prior to approval of any grading or building permits for Development Parcels 3, 4 or 5, the golf course and clubhouse designs shall be reviewed and approved by the Administrator and the Parks and Recreation Director.

Parcel 3 cannot be developed for the next two (2) years, due to changes in corporate ownership and associated tax consequences. The development of Parcel 3 will not start for at least two (2) years after approval of this final development plan. The development program for Kiley Ranch Northeast Golf Community covers five to seven years. The proposed phasing plan represents the developer's best estimate of how development will occur. Should circumstances change it is possible that modifications to the phasing plan will be proposed.

The wetlands Parcel 1 will either be dedicated to the City of Sparks with future open space crediting for some portion of the parcel, or it will be retained in the Kiley Ranch Ownership for future designation as common area to support development of the northern portion of the ranch.



**Figure 1-14**  
**Phasing Plan**



## 7. Traffic and Circulation

The traffic study for Kiley Ranch Northeast Golf Community includes projected traffic volumes for proposed development of this property (refer to Appendix of the development application). The RTC traffic model for the Spanish Springs Valley was run with the proposed project included within it. The model produced 2010, 2020, and 2030 projected traffic volumes. Based on this traffic model analysis, no additional regional roadway improvements are required beyond those projected in the adopted Capital Improvements Program. (refer to Solaegui Engineering letter report in the appendix for specific information)

Primary traffic facilities for this project are Vista Boulevard and an extension of First Tee Parkway to Golf Course Drive. Vista Boulevard is the main north-south arterial and First Tee Parkway is the primary collector street access to the golf course clubhouse. The final development plan also adds local residential streets, public and private, to complete the development. The proposed street sections, including local street standards for the residential neighborhoods, are included in Chapter 2, Design Standards and Regulation. Vista Boulevard will be widened to four (4) lanes during construction of this project. For specific construction phasing details, refer to Chapter 2, Design Standards and Regulations.

## 8. Open Space

A primary objective of site planning for the Kiley Ranch Northeast Golf Community development was inclusion of a series of open spaces that function as passive recreational open space adjacent to the residential neighborhoods. As envisioned in the NSSOI Plan, the pedestrian link between the north and south portion of the NSSOI is an open space corridor that will be integrated within the proposed residential neighborhoods. Additional open space is provided around the Sun Valley Diversion Channel at the southwest corner of the property. The Design Standards illustrate requirements for access between neighborhoods and open space. Refer to **Table 1-2** for approximate acres of open space provided. There will be a total of 13.6 acres of open space provided within the Kiley Ranch Northeast Golf Community that equals 20.6%. The open space does not include the delineated wetlands or credit for the golf course.

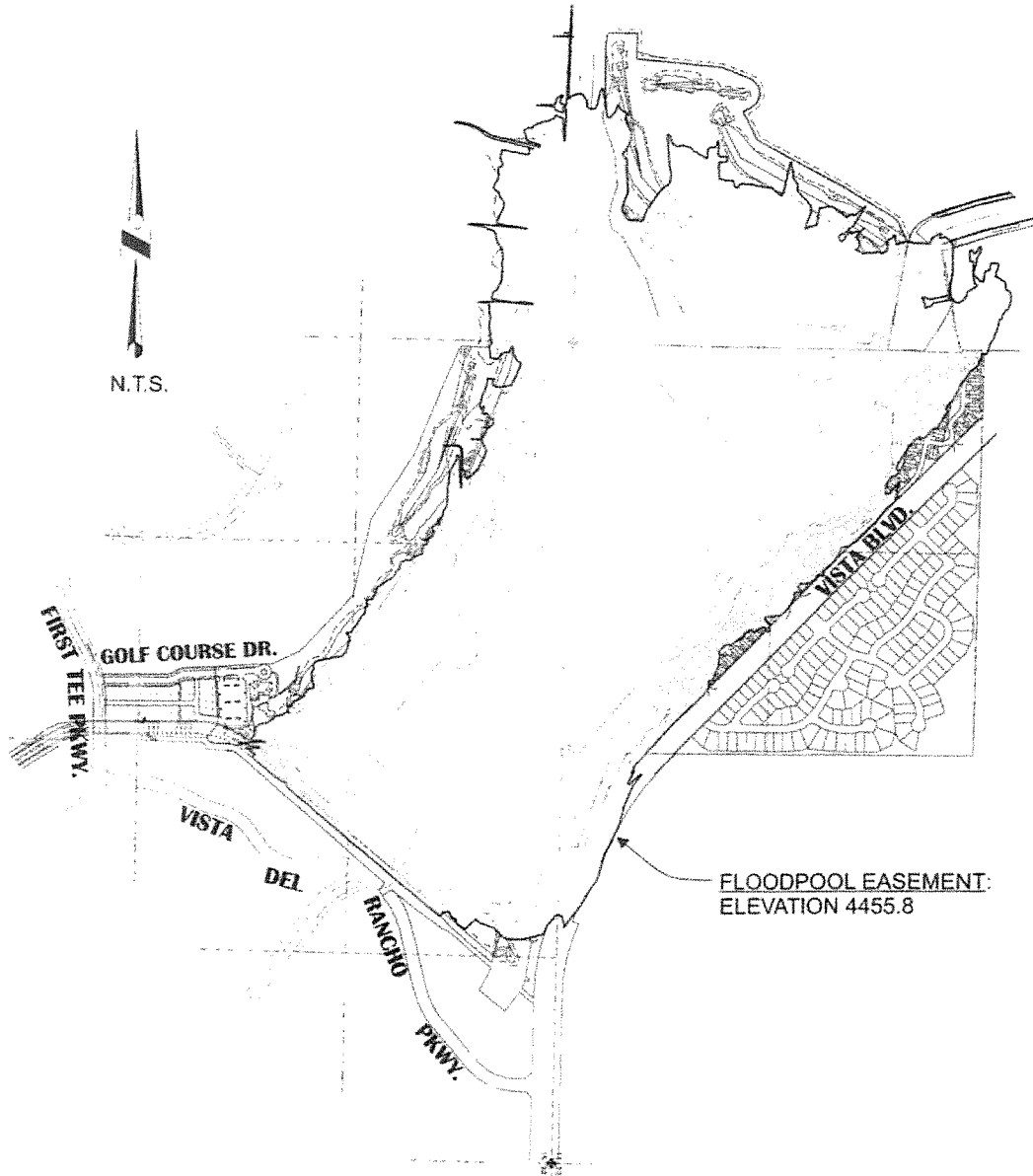
## 9. Stormwater Management

### a. Site Drainage

The site slopes downward very gradually from west to east and east to west at a typical gradient of less than two percent (2%). The only exception is the far southwest corner.

**b. Flood Pool – Existing Easement**

The majority of the existing flood pool easement was acquired by the City of Sparks from the Kiley Ranch in 1990, as part of the condemnation case for constructing the dam and flood pool on the Kiley's property. This easement grants the City of Sparks the right to store (impound) storm water over and across the Kiley Ranch property. No other rights were granted. Refer to *Figure 1-15* for the location of the existing easement.



**Figure 1-15**  
**Flood Pool Easements**

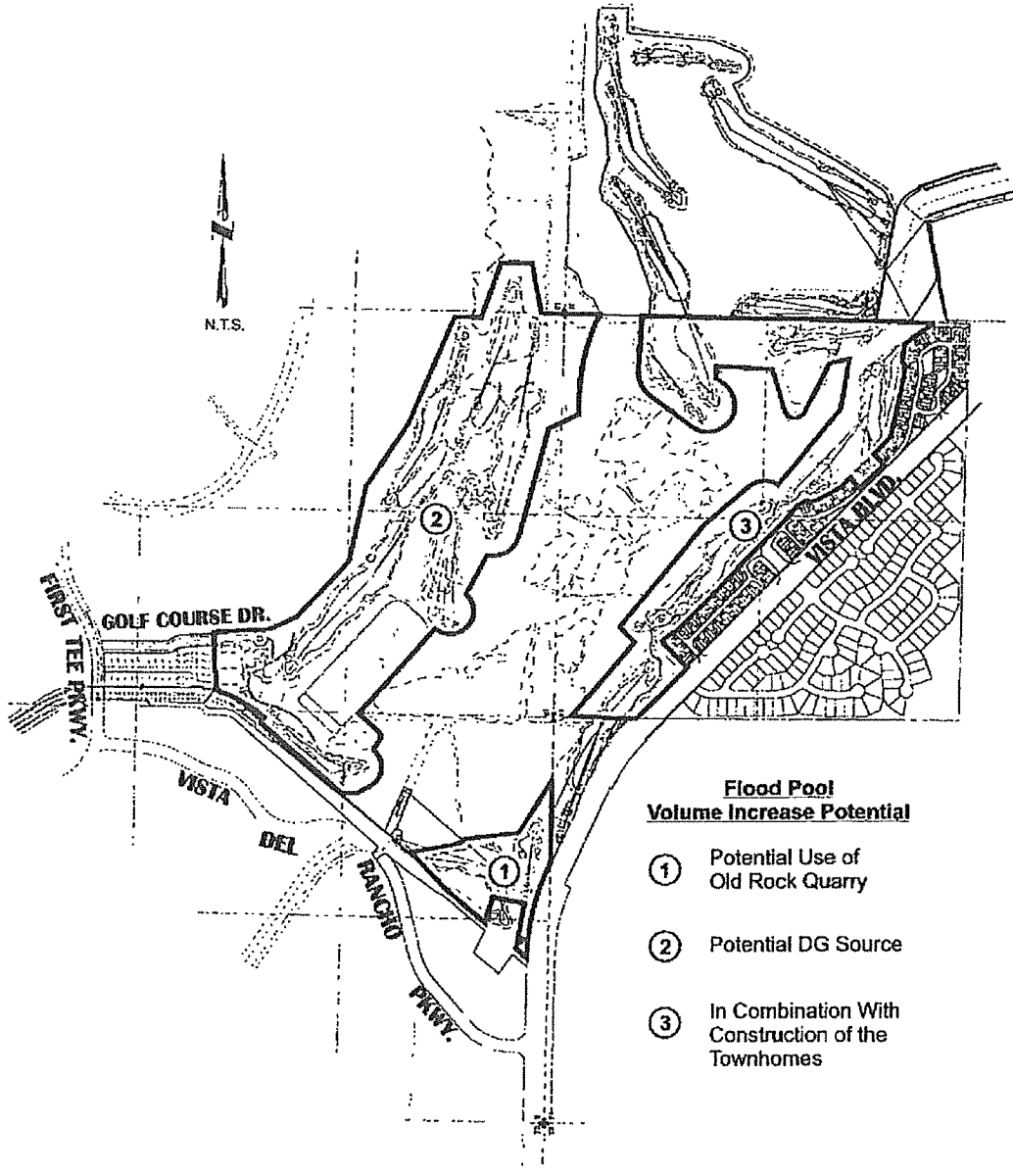
There are two (2) types of construction activity that will take place within the existing flood pool easement. This construction activity will be confined to the edges of the flood pool, as the major portion of the flood pool is encumbered with wetlands that will be retained by the Kiley Ranch for future open space dedication or dedicated to the City of Sparks. Refer to Development Parcel 1, Chapter 2, Design Standards and Regulations for details.

The golf course will be the primary construction activity within the flood pool easement. Refer to Development Parcel 2 Chapter 2, Design Standards and Regulations for additional details on the course construction. One of the secondary benefits of the preliminary golf course design is to create additional detention volume. Refer to *Figure 1-16*, for additional details on potential areas where detention volume may be increased. The second type of construction will be the development of the golf course townhouse community on Development Parcel 3. Development of this parcel will decrease the volume of the flood pool, but will be balanced with additional golf course excavation adjacent to the townhouse parcel or other area within the golf course as shown on *Figure 1-16*. Refer to Development Parcel 4 Chapter 2, Design Standards and Regulations for additional details.

The current FEMA maps, dated September 30, 1994, indicate that the flood pool portion of the site is affected by Zone A 100-year flood plain (refer to FIRM Map #320019 Panel #0000).

**c. Detention Volume**

Based on the preliminary design for the course, additional storage may and could be created by the grading of the golf course. This additional storage volume is being created in three different sections of the course. **Figure 1-16** illustrates the anticipated areas that may provide additional storage.



**Figure 1-16**  
**Flood Pool Volume Increase**

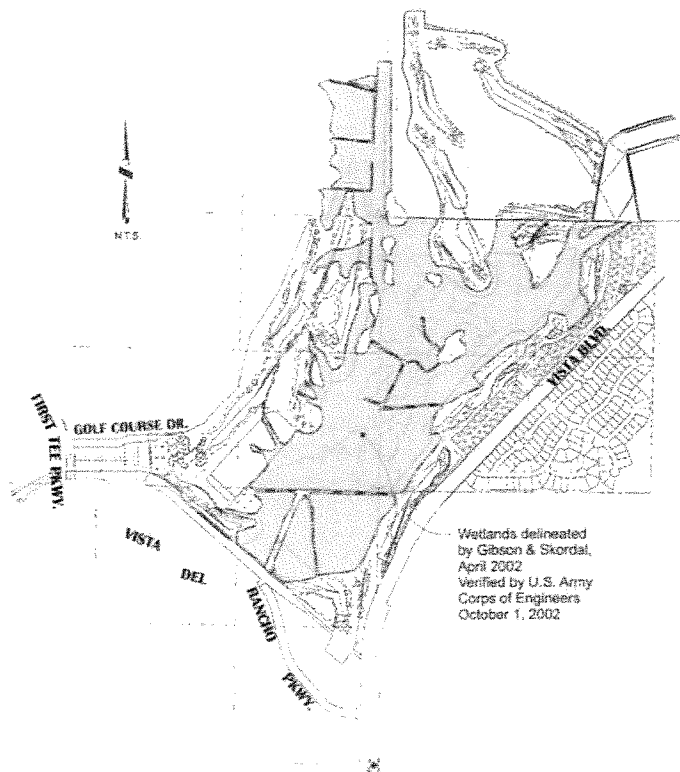
The cost of providing this additional storm water detention volume may be creditable against Area 1 flood control fees. The actual detention volume increase, estimated cost and credit determination will be made at the time of final design and final plan approval.

The additional detention volume created may first be made available for use by the Kiley Ranch and its developers based on an approved flood control master plan and hydrology/grading reports and then for use by other developments within the Northern Sparks Sphere of Influence (NSSOI). The final details will be incorporated into the final development agreement with the City of Sparks.

Refer to *Figure 2-62* for cut and fill analysis, and Parcel 4 Chapter 2, Development Standards and Regulations for additional details.

#### d. Wetlands

The detailed delineation and certification by the Corps of Engineers in 2002 established the boundaries of the delineated wetlands for this project and future development of the Kiley Ranch. This delineation will remain in effect for 5 years, which is approximately the development time line for this project. Refer to *Figure 1-17* for wetland location.



**Figure 1-17**  
**Wetlands Delineation**

The Kiley Ranch Northeast Golf Community will utilize avoidance as its mitigation technique. The goal of the preliminary design for the golf course and the townhouse community is avoidance. The fairways, greens, and tees for the course are all outside the wetland boundary. The northeastern portion of the townhouse community is also designed to be totally outside the boundary. The only golf course element that will be within the wetlands is the cart path connections between greens and tees. These connections will be built on elevated cart paths above the existing wetlands. This type of construction has been used in other areas of the country and has been determined to have no impact on wetlands. Refer to the golf course design standards, Chapter 2, for specific details on how edge conditions will be treated.

**e. Storm Drain**

Prior to approval of any Conformance Review, a Master Storm Drainage report shall be prepared to the approval of the Administrator in accordance with the Draft City of Sparks Hydrologic Criteria and Drainage Design Manual (HCDDM). Each development will be required to provide a storm drain system to remove the 5-year runoff from the site, with overland routes for the 100-year runoff. Drainage generally follows the natural grade of the land and the developed portion of this site is proposed to be graded to drain the 5-year and 100-year event to discharge into the existing detention facility. (Refer to Preliminary Hydrology and Storm Drain Report)

**f. Groundwater**

Based on the preliminary geotechnical investigation, groundwater is expected to be encountered during development of this site. Should groundwater become an issue during construction, mitigation measures will be incorporated into the construction plans and the best management practices will be followed during construction.

**10. Fire Protection**

The City of Sparks will provide fire protection with the potential of mutual aid response from the City of Reno. As a function of development, an impact fee for facility construction will be paid by this development in accordance with Impact Fee Service Area Number 1.

**11. Sanitary Sewer Service**

The City of Sparks will provide sanitary sewer service. An existing 24-inch diameter trunk sewer (Northeast Trunk) is constructed in Vista Boulevard through the project. The 36" Northwest Trunk sewer is currently under construction adjacent to Parcel #5, and will serve that project from a 16" stub extension. (Refer to Preliminary Sanitary Sewer Report)

## 12. Water Service

Domestic water service to individual homes will be provided by Truckee Meadows Water Authority. Water service to golf course and common areas will be provided by City of Sparks and their reclamation water facility currently under construction.

## 13. Other Utilities

Remaining utility services for the development shall be provided as follows:

<u>Type of Service</u>	<u>Utility Provider</u>
Electricity	Sierra Pacific Power Company
Natural Gas	Sierra Pacific Power Company
Telephone	SBC Nevada
Cable TV	Charter Communications (or other cable providers as approved by the City of Sparks and Master Developer)

## 14. Airport Noise

This property is outside of the 65 Ldn noise contour published by the Airport Authority of Washoe County. An aviation easement from the Airport Authority will be required prior to recordation of the first final map.

## **D. Procedures/Administration**

The Northeast Golf Community Development Plan, and Development Agreement will be entered into simultaneously with Kiley Ranch LLC, Reno Development Ltd., and the City of Sparks. This agreement will incorporate the Project Description, Chapter One, Development Plan, Design Standards, and Regulations in Chapter Two. The review and approval process for subsequent submissions will be subject to the following:

### **1. Definitions**

- **Administrator:** The City of Sparks Deputy Director of Development Services and the City of Sparks' City Planner shall be the Administrators, hereinafter referred to individually or collectively as the "Administrators" of this process. The Administrator shall have the principal authority to interpret and make decisions based on the plans, and standards contained herein which are in accordance with the scope of the responsibilities granted to them in Titles 15, 17, and 20 of the City of Sparks' Municipal Code.
- **Applicant/Developer:** Kiley Ranch LLC/Reno Development Ltd., or assignee, shall be the Applicant/Developer, and will be hereinafter referred to as "Applicant" or "Developer" during this process. All communication between the City of Sparks and the Applicant or Developer must be directed to Kiley Ranch LLC and Reno Development Ltd.
- **Builder:** The person or entity which will construct final improvements with respect to a parcel of the property.

### **2. Design/Flexibility**

The Final Development Plan Development Standards and Regulations contained herein are intended to depict the general nature and relative intensity of the residential and open space development at the Kiley Ranch Northeast Golf Community. Sufficient flexibility shall be allowed to permit detailed planning and design at the time of actual development. The configuration and acreage of development parcels and phases may be altered from what is shown on the Final Development Plan to accommodate detailed site conditions. Land uses may also be transferred between development parcels, providing this transfer does not conflict with the standards described in these Development Standards and Final Development Plan subject to administrative determination of conformance and need for a formal amendment. The land use "transfers" reflect a market driven project that has the flexibility to adjust to the possible fluctuations that may occur in future market conditions.



### 3. Omissions

When issues arise that are not covered in the Design Standards, the provisions and definitions of the City of Sparks' Zoning Ordinance and Subdivision Regulations shall apply.

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### 4. Deviations

The Administrator shall have the authority at his/her discretion to administratively approve minor deviations in the plans, standards, and guidelines as requested by the Developer prior to the submission of a final development plan for each phase. Minor deviations include such items as parcel configurations, parcel sizes, irregular lots, and special setback conditions (up to 20% of the required setbacks).

Major deviations will be defined as any deviation that changes the intent of the approved Final Development Plan and Design Standards, such as zoning changes, deviations greater than twenty percent (20%) to the established development standards and/or movement of land use classifications, which are not in conformance with the development standards described within this Final Development Plan and Design Standards. Major deviations will be handled as amendments to this Final Development Plan and Design Standards.

### 5. Appeals

The Applicant may appeal any decision made by the Administrator to the City of Sparks' Planning Commission. The Planning Commission shall hear the appeal and either affirm, modify, or reverse the determination of the Administrator. Any decision made by the Planning Commission may be appealed to the City of Sparks' City Council.

## E. Plan Process and Submittals

### 1. Introduction

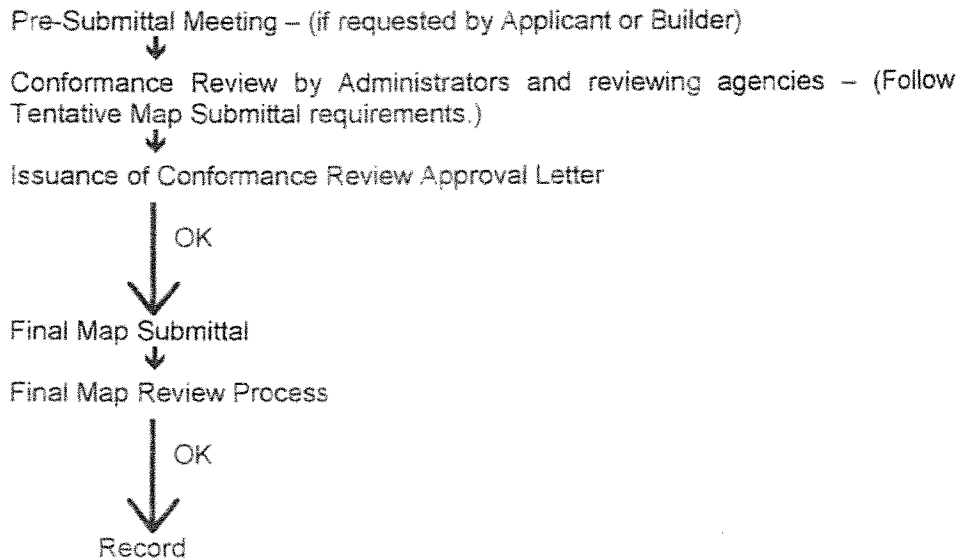
This section defines the procedures and definitions for all submittals requiring a **Conformance Review**. These procedures and definitions should be used in conjunction with the uses described for each development area or parcel within the Northeast Golf Community as they are described within the Final Development Plan and Development Standards.

### 2. Submittals

Upon receipt of an Application requesting a use defined in this Final Development Plan and Design Standards, the Developer or Builder shall conform to the following procedures:

- a. Conformance Review Process – (Follows the existing Site Plan Review process and procedures)
  - The Applicant or Builder, must attend with their design representatives a "Pre-Submittal" meeting with the Administrator prior to submittal of the Conformance Review to the City.
  - A Conformance Review /Site Plan Review Meeting will be set up by the Administrators with the Applicant or Builder upon determination by the City that the application is complete. Refer to the following 3a, b, and c for details regarding the application. Conformance review will be by the staff and reviewing agencies. If the plans do not comply with the regulations, standards and policies of the Development Plan Final Design Standards and Regulations to the City and reviewing agencies, the submittal will then go to Planning Commission and City Council for review and approval.
  - The Applicant or Builder will submit Improvement Drawings and reports in accordance with the Final Development Plan Design Standards. These improvement drawings and reports will be the same as those required for a Tentative Map submittal, including a house fit plan. The initial submittal for each Development Parcel will include all phases of that particular development parcel, of establish a single conformance review process for the entire development parcel.
  - The Administrators and reviewing agencies will review the application submitted for conformance with this Final Development Plan, Design Standards and Regulations, City Code, the Development Agreement, and Nevada Revised Statues.

- A Conformance Review Letter will be issued specifying any additional information or changes necessary to be incorporated into the Final Map submittal. A Final Map submittal shall be submitted within two (2) years after the date of the Conformance Review approval. The Final Map submittal and review process shall comply with NRS 278.360 – 278.460, inclusive. If not recorded within two (2) years from the date of the Conformance Review approval, then the Conformance Review shall be terminated and the approval is null and void. The Applicant or Builder may appeal any decision made by the Administrator as noted in Section D 5.



The time line for submittals and appeals will be in accordance with the current City of Sparks' Standards and Guidelines at the time of submittals for Conformance Review and Final Map approval.

- Upon receipt of an application requesting a use that is different from the use defined in this Final Development Plan and Design Standards, a *Conformance Review* will be required. The different use must be in general conformance with the Final Development Plan and Design Standards but may utilize a different design concept or unit configuration. The Administrator shall determine if the difference can be found to be in substantial compliance, or if an amendment to the Development Plan, Design Standards and Regulations is required following the procedures in SMC 20.18 and NRS 278A.550.

### 3. Submittals for Conformance Review

The Developer or Builder shall conform to the following definitions and procedures:

#### a. *Definitions for Conformance Review*

- "Plan Review Committee": is defined as a committee established by the Administrator to review submittals related to the development.
- "Conformance Review": is defined as a review which is required as a prerequisite to submittal of a Final Map for the subdivision of land as outlined in this Final Development Plan and Design Standards under each development parcel or land use classification.
- "Application Fees": refers to the dollar amounts associated with the *Conformance Review*, which will be equivalent to the fees required by the City of Sparks for a Tentative Subdivision Map, at the time of submittal.
- "Applications": associated with the *Conformance Review* will be the same applications required by the City of Sparks for a Site Plan Review, with any additional information required for a Tentative Subdivision Map at the time of submittal.
- "Supporting Documentation": for a *Conformance Review* will be the same documentation required by the City of Sparks for Tentative Subdivision Map, and submitted to the city with the application. This documentation shall include all information normally submitted for Tentative Map review, including a house fit plan.

#### b. *Purpose*

The purpose of the *Conformance Review* is to focus on site related improvements such as preliminary grading, circulation, utilities, access building placement, architectural design, etc., and to ensure offsite related improvements are in conformance with this Final Development Plan and Design Standards.

#### c. *Conformance Review Application Requirement and Review Process*

- An Applicant seeking a *Conformance Review* must submit to the Administrator the required application fee (at the time requested by the Administrator), accompanied by a ***Conformance Review*** application and supporting materials, as prescribed by the Administrator and this Final Development Plan and Design Standards.
- Within sixty (60) days of the filing of a complete *Conformance Review* application with the City of Sparks' Planning and Community Development Department, the City of Sparks' Planning and Community Development Department shall submit to the applicant a letter and conditions of approval relative to the *Conformance Review*.

**d. Issuance of Conformance Review Letter**

Following the approval of the site plan review committee, a letter with or without conditions will be issued.

**e. Responsibility**

Compliance with the maintenance of the conditions of approval of the *Conformance Review* letter is the responsibility of the property owner.

**f. Amendments**

- A *Conformance Review* letter must be amended when there are substantial changes to the project.
- Amendments to a *Conformance Review* letter must follow the same procedure as for a new application, including, but not limited to, the application fee, application forms, and supporting documents.

**g. Expiration of Conformance Review**

Once a *Conformance Review* letter has been issued by the Administrator, the Applicant has two (2) years to record a final map. If the permitted use has not been established and diligently pursued, or construction to accommodate that use begun within two (2) years following approval, it shall become null and void. If a final map is not recorded with two (2) years, the *Conformance Review* for the subdivision shall become null and void. If the Applicant/Owner submits a series of final maps for portions of the project, then the final map application must be submitted prior to the one (1) year anniversary of the last final map, or and extension request filed per (NRS) Nevada Revised Statutes and paragraph (h) below.

**h. Extension of Time**

In the event that an Applicant/Builder is unable to establish the approved use or begin construction to accommodate such use within two years from the issuance date of the *Conformance Review* letter, the Administrator may extend the expiration date of the *Conformance Review* letter for a maximum of one (1) year beyond the original expiration date, provided that a written request, which includes the current status of the project, is submitted to the Administrator by the Applicant/Builder before the approval expires.

In the event that an Applicant/Builder is unable to submit a subsequent Final Map in a series of Final Maps for a project within one (1) year from the date of recording the last Final Map, the Administrator may extend the null and void status of the *Conformance Review* approval for a maximum of one (1) year beyond the termination date, provided that a written request which includes the current status of the project is submitted to the Administrator by the Applicant/Builder before the approval is terminated.

#### 4. Implementation – Kiley Ranch Owners, Master and Parcel Developer Responsibility

##### a. Definitions

- "Kiley Ranch Owners": is defined as Kiley Ranch LLC, Lazy Five Company, L. D. and D. A. Kiley, their successors and assigns. They may also be the Master Developer.
- "Master Developer": is defined as the entity or corporation that purchases all of Development Parcels 3, 4 and 5. The Master Developer may also be a Parcel Developer.
- "Parcel Developer": is defined as the entity or corporation that purchases one or more of the development parcels or phases from the Master Developer or Kiley Ranch Owners. His/Her responsibility is to construct the housing units and infrastructure necessary to support those units, per the Development Standards and Regulations.

The design standards will be used by the Master Developer (or his designee) and government agencies to review each Parcel Developer's proposal for conformance with the overall design objectives. Design review by the Master Developer will be a required element of all purchase agreements entered into by the Master Developer and each Parcel Developer, if different from the Master Developer. The Master Developer will provide each Parcel Developer with a copy of the approved Design Standards and supplemental CC&R's. These documents should be reviewed carefully by each Parcel Developer.

It shall be the responsibility of each Parcel Developer within the Kiley Ranch Northeast Golf Community PD to prepare neighborhood entry and landscape design plans in conformance with the Design Standards. The Master Developer (or his designee) shall review all proposed plans for development prepared pursuant to this Design Standards manual prior to submission to the City of Sparks. The purpose of this initial plan review is to ensure compliance with the plan as finally approved by the City of Sparks. A letter and checklist from the Master Developer and or the Kiley Ranch Owners, stating that the project is in conformance with the plan must accompany any project submitted to the City of Sparks.

The City of Sparks requires a licensed landscape architect to prepare landscape plans according to these standards. Prior to installation of landscape improvements all plans are to be reviewed by the City and Master Developer (or designee), as provided by these Design Standards and Regulations recorded against each property. Approval by Master Developer does not imply that the project is in compliance with all applicable city codes, ordinances, or other regulations. Each Parcel Developer is responsible for submittal and processing of all final plans and permits required by the City prior to commencement of construction.

Where provisions of the plan do not address a specific subject, provisions of the Sparks Zoning Ordinance or other ordinances governing development of land in effect at the time of recordation of final maps shall prevail. The provisions outlined in NRS 278A.390 must run in favor of and are enforceable by the City of Sparks.

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## CHAPTER 2

### KILEY RANCH NORTHEAST GOLF COMMUNITY

#### DEVELOPMENT PLAN, STANDARDS, AND REGULATIONS

##### I. PURPOSE AND OBJECTIVES

###### A. Purpose of the Design Standards

The Kiley Ranch Northeast Golf Community Design Standards & Guidelines set forth development and design standards for the residential, recreational, and open space components of the property. The Design Standards provide specific development criteria for neighborhood organization, access to open space, architecture, and landscaping for streets, common areas and open space. The Kiley Ranch Northeast Golf Community project will provide for an aesthetically pleasing Planned Development (hereafter PD) respectful of the site's physical constraints.

It is the intent of the PD Design Standards to be consistent with previously adopted Standards of the City of Sparks. Some of the standards are similar to previously adopted handbooks prepared for other portions of the NSSOI. Others are specific to this property and respond to unique characteristics of the site.

The Kiley Ranch Northeast Golf Community PD Design Standards conform to the requirements of NRS 278A, which governs PDs. NRS 278A.010 through 278A.590, as revised in 1991, outlines specific requirements that must be addressed in either the written or graphic materials accompanying the preliminary development plan. Most of these requirements have been addressed in this design standards document or other sections of the application package. In addition, design for landscaping, signs and entry features and maintenance of common area improvements will be provided in Conditions, Covenants, & Restrictions (hereafter CC&R's) that will be prepared and recorded by the each Parcel Developer.

###### B. Objectives of the Design Standards

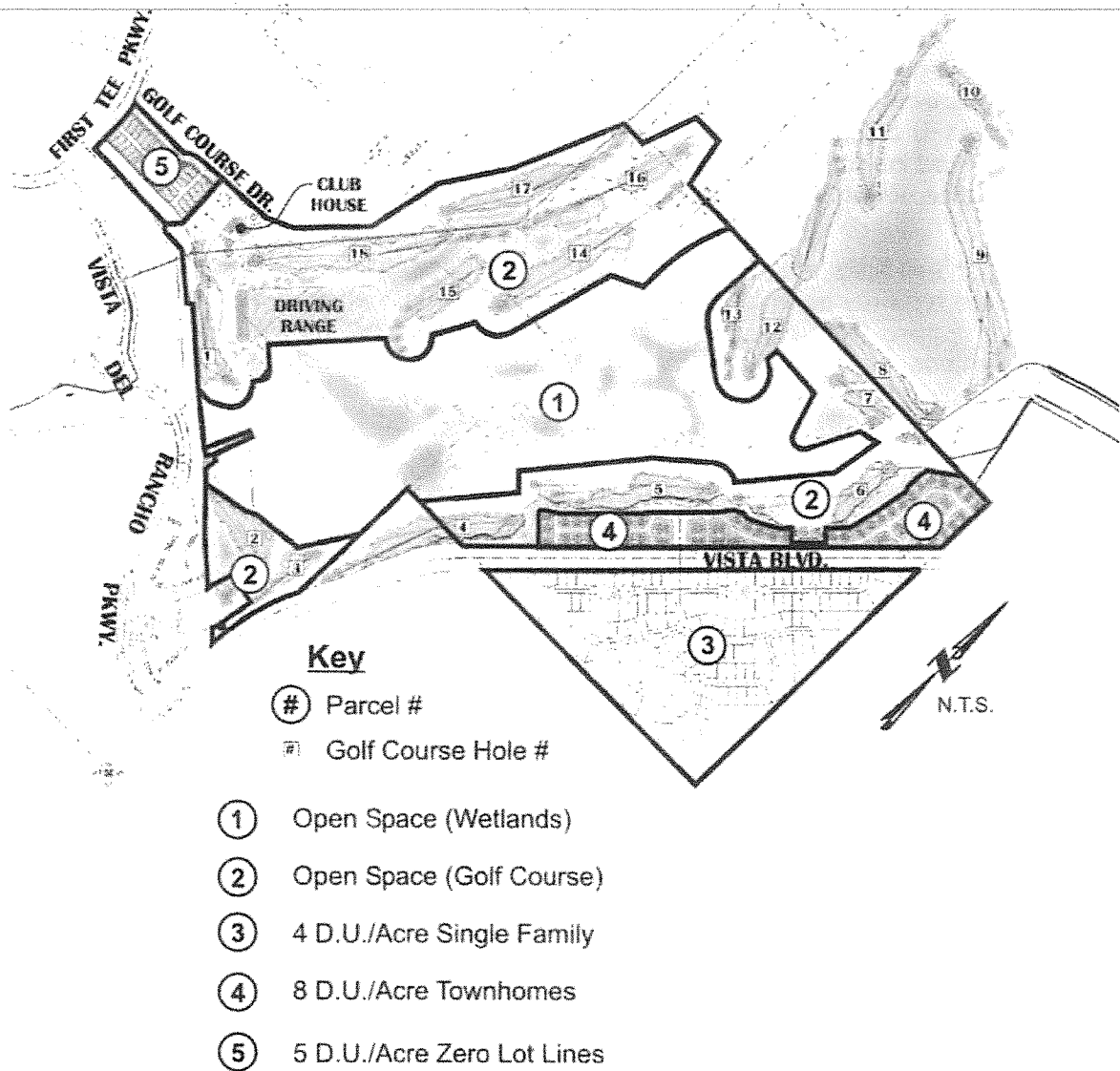
There are several objectives inherent in the design standards. The design objectives address framework issues that help define the notable features of the built environment.

1. *Objective 1: Provide a distinct image for the PD by encouraging high quality and aesthetically superior development.*
2. *Objective 2: Establish a strong sense of community through integrated design of linked public spaces such as streets, parks, and open space.*

3. *Objective 3: Maximize water and energy conservation by utilizing landscape architectural concepts responsive to climatic conditions in the area.*
4. *Objective 4: Design the built environment to minimize disruption of natural features.*

## II. Neighborhood Design

Residential development parcels are organized into distinct neighborhoods linked by a network of pedestrian paths in open space corridors and landscaped corridors along the arterial and collector streets. (Refer to **Figure 2-1**) The wetlands reserve and golf course creates a larger open space corridor extending northeast to southwest through the PD and serves as the central open space of the PD. Specific neighborhood design issues are addressed in the following design standards. The City of Sparks detention dam provides an important east/west pedestrian/bike linkage that needs to be included in the trails plan. (Refer to **Figure 2-2**)

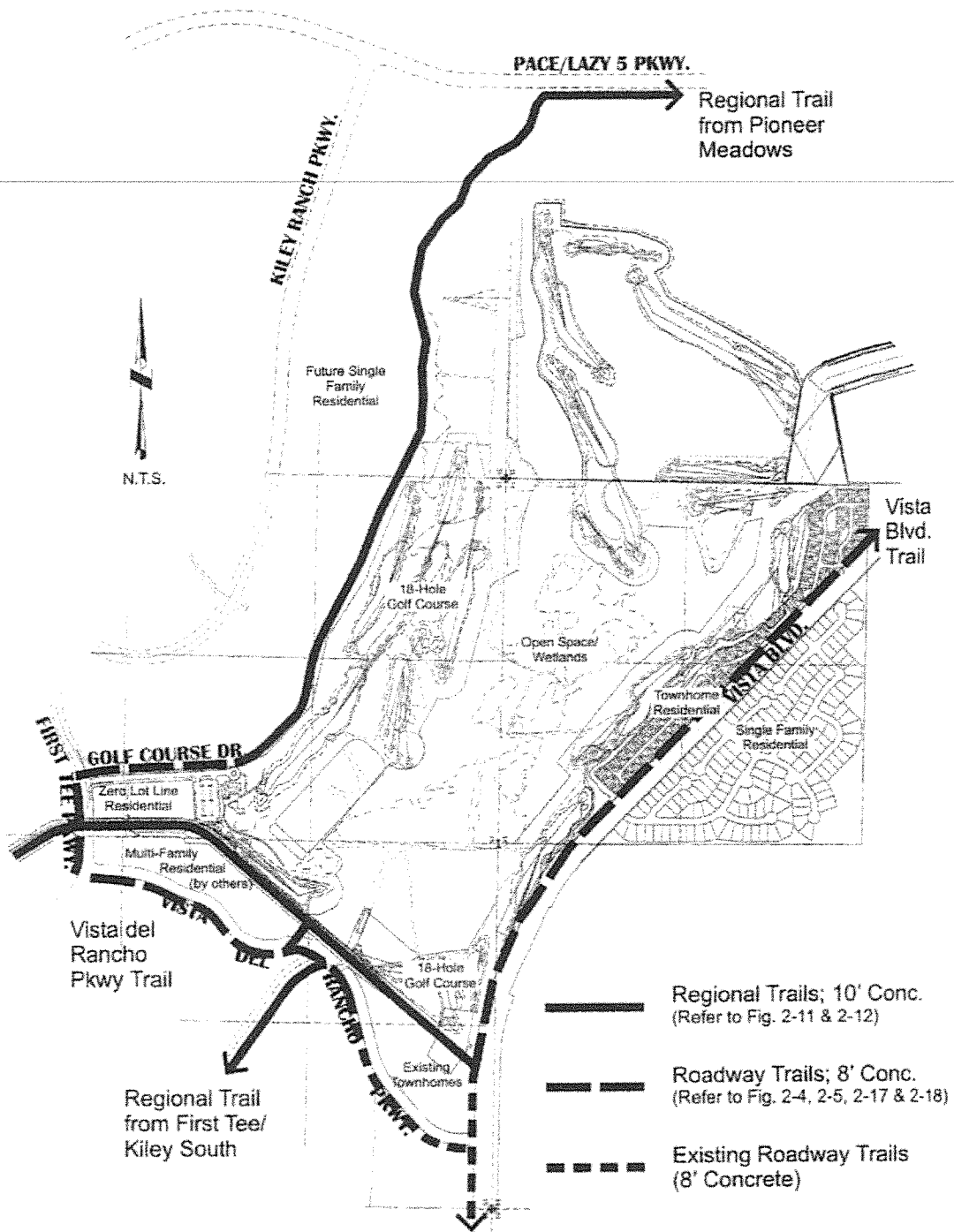


**Figure 2-1**  
**Land Use Plan**

## A. Pedestrian Trails

There are a couple of Regional and Community Trail links within the Northeast Golf Community. The Northern Sparks Sphere of Influence (NSSOI) trail will be extended from The Pioneer Meadows project to the north to the Kiley Ranch Regional Trail in First Tee. Its approximate routing is noted on *Figure 2-2*. It is approximate because the future residential along the western edge of the golf course will likely not occur for some time in the future. As a result, no preliminary plans for the layout of this area are available at this time. This trail will continue along Golf Course Drive, past the clubhouse to First Tee Parkway and will extend south to its east west connection along the City of Sparks Detention Dam, extending east along the dam to its connection with the regional trail in First Tee. (Refer to *Figure 2-2*) Sections of this trail shall be constructed with adjacent development and deeded to the City of Sparks for maintenance. Refer to *Figure 2-11 and 2-12* for specific design criteria.

The other trail links are along Vista Boulevard, Vista del Rancho, and First Tee Parkway. These are roadway trails, but also serve as major pedestrian links throughout the community. Refer to *Figure 2-2* for general locations, and *Figures 2-4, 2-5, 2-17, and 2-18* for specific design criteria.



**Figure 2-2**  
**Trail System Plan**

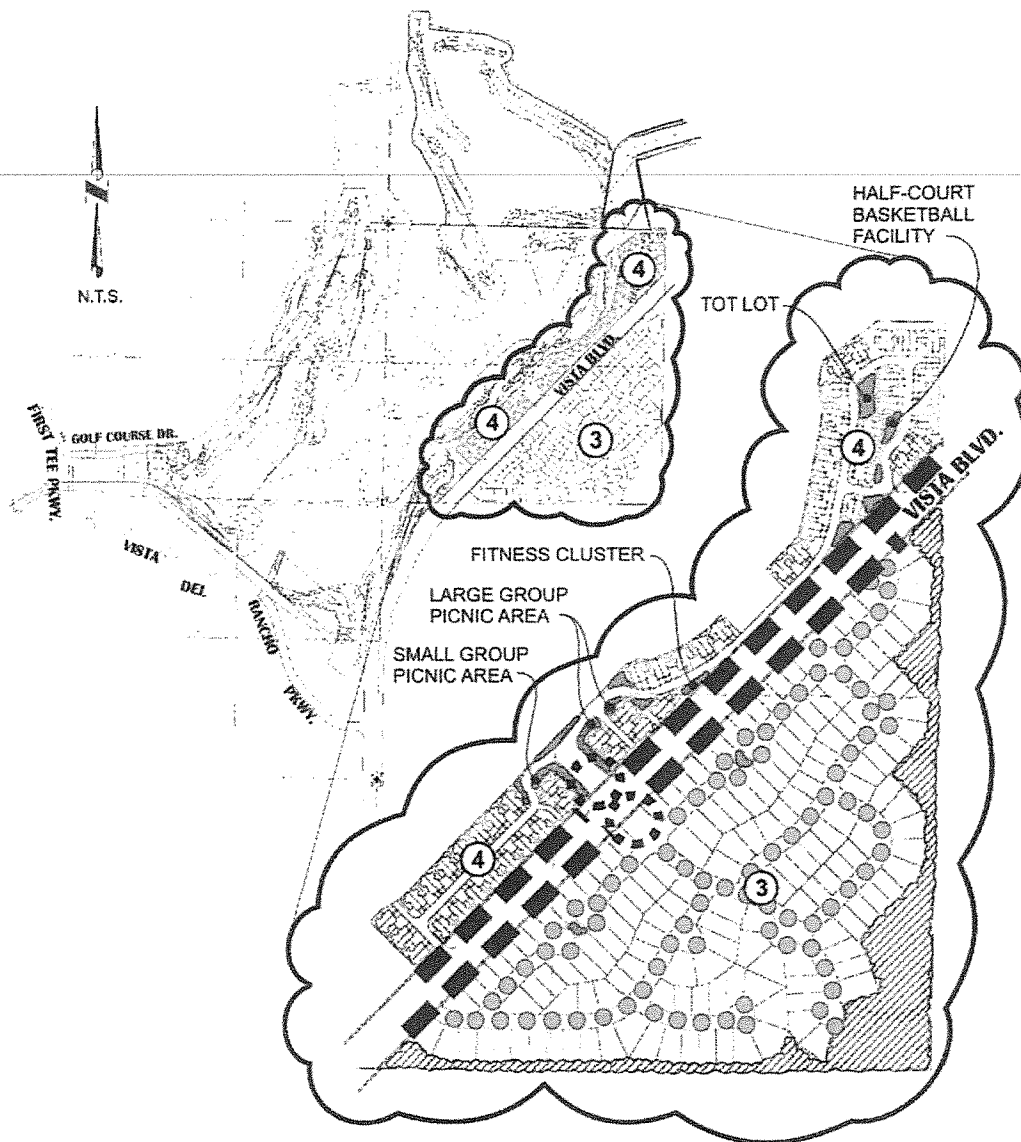
### III. LANDSCAPE ARCHITECTURE

Landscape architecture encompasses the areas of the plan which includes the streets, pathways, golf course, open space, and common areas in the community. The private yards of individual residences are not included in these standards. Landscape design includes formal plantings along streets and linear parkways, informal plantings in open space areas, as well as in recreation amenities such as tot lots.






The purpose of this section is to establish comprehensive design standards by defining requirements for project entries, landscaping, and site amenities. Installation specifications, maintenance guidelines, and the definitions of areas of responsibility are also outlined so that each Parcel Developer will understand and conform to the overall design concept. The specific details required in each parcel will be prepared by the Master Developer, and approved by the Administrator.

#### A. Kiley Ranch Northeast Golf Community Landscape Design Theme

A common identity will be established throughout the Kiley Ranch Northeast Golf Community residential community as a means of establishing a sense of place and pedestrian scale within the community. Landscaping, particularly the parkway and street trees, will play a key role in establishing the character of the PD. Accent and landmark trees, shrubs and groundcovers support the overall landscape design for the PD. *Figure 2-3a and 2-3b* illustrate the overall locations for different types of landscape treatments specified in the Design Standards and Regulations. These types of landscape treatments include Collector and Arterial roadways, Residential Streets, ornamental and revegetation common area and open space landscaping. The details for each of these areas are included in the following Design Standards and Regulations sections.

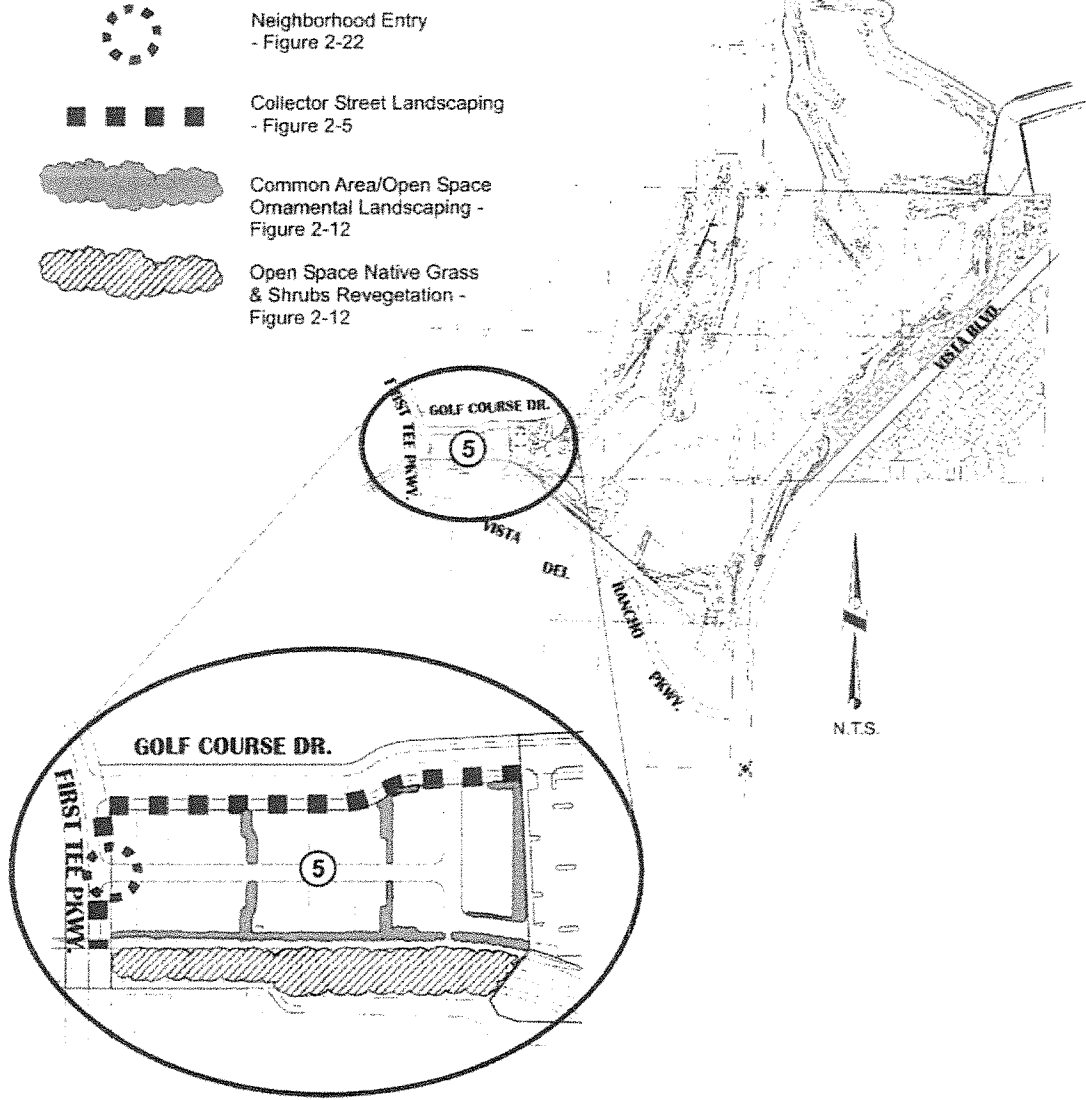


**LEGEND**

-  Project Entry - Figure 2-21
-  Vista Blvd. Landscaping - Figure 2-4
-  Residential Street Landscaping - Figure 2-6
-  Common Area/Open Space Ornamental Landscaping - Figures 2-12 & 2-25 thru 2-29
-  Open Space Native Grass & Shrubs Revegetation - Figures 2-9 thru 2-12

**Figure 2-3a**  
**Residential Landscape Development Concepts Parcels 3 & 4**

**LEGEND**



**Figure 2-3b**  
**Residential Landscape Development Concepts Parcel 5**



## 1. Collector and Arterial Roadway Landscape

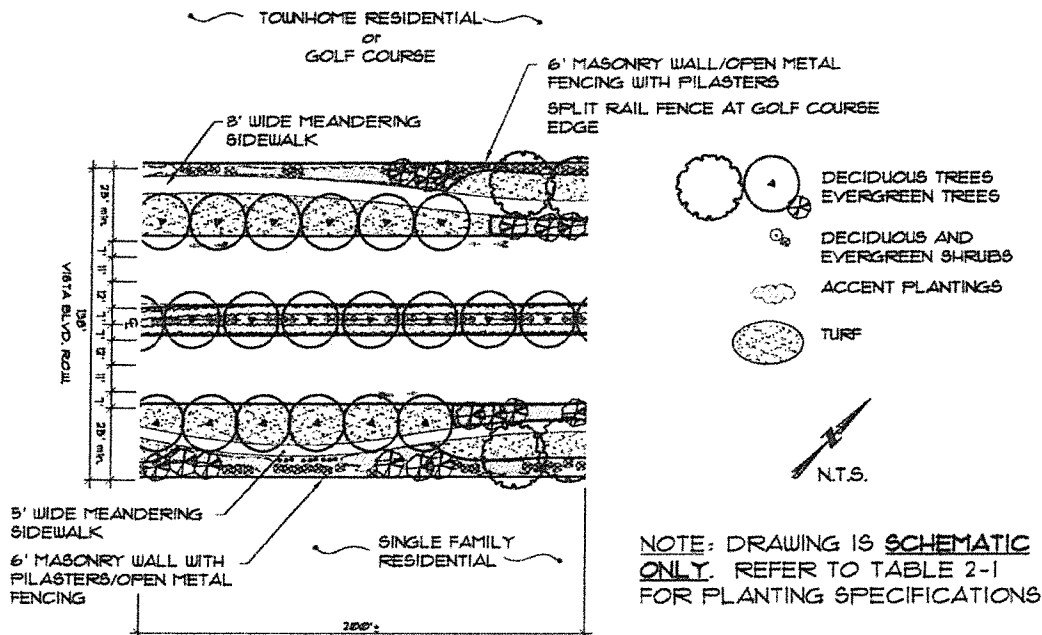
The landscape design for Vista Boulevard, First Tee Parkway and Golf Course Drive; the most visible of the project's public areas, shall be a dense composition of trees, ornamental shrubbery, groundcovers and turf lawn intended to establish the general character and quality of the project image. Utilizing a variety of species offering colorful flower and foliage displays, variations of form and texture, and seasonal effects, the parkway landscape will provide a visually stimulating and ever changing environment for residents and visitors. (Refer to *Figure 2-4 and 2-5*)

### a. Plant Selection

Plant materials will be chosen based on their adaptability to the general Sparks vicinity. However, final determination of appropriate plant material shall rely upon a horticultural soil analysis and other site-specific determinations.

## 2. Vista Boulevard and First Tee Parkway/Golf Course Drive

Trees in the collector and arterial roadway will be planted in informal massing of a single species in a given location. These trees will be planted in a random fashion, as appropriate to the ultimate growth habit of the species. At time of planting, collector and arterial roadway trees shall have a minimum caliper as specified in *Tables 2-1 and 2-2*. Additionally, a variety of ornamental shrubs and groundcovers, as well as turf lawns, shall be planted in concert with the tree selections in order to complete the collector and arterial parkway composition. Careful consideration will be given to selecting plant species that will reinforce the special qualities of the collector and arterial roadway. (Refer to *Table 2-1 and Table 2-2 for specifics*)

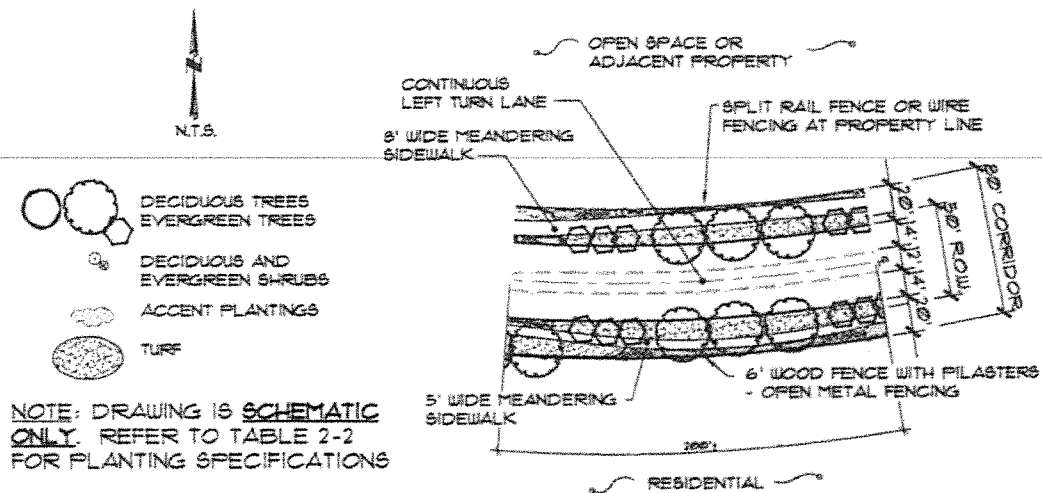


**Figure 2-4**  
**Arterial Roadway Landscape – Vista Boulevard**

**Table 2-1**  
**Arterial Roadway Landscape Materials Schedule – Vista Boulevard**

Typical 200' Long Segment (both sides of roadway) of Planting & Mulching Specifications  
(Total square footage excluding sidewalk approximately 10,200 sf)

<u>Plant Materials</u>	<u>Quantity</u>	<u>Plant Size</u>	<u>Min Caliper Size</u>
Mulch – Bark	2,000 sf (approx)		
Mulch – Rock (4" minus)	2,400 sf (approx)		
Turf	3,000 sf (approx)		
Shrubs	30	1 gallon	
	36	5 gallon	
	6	15 gallon	
Groundcover (w/bark mulch)	110	1 gallon	
Deciduous Trees	3	15 gallon	1 1/2"
	4	B&B or Box	2"
	5	B&B or Box	3"
Evergreen Trees	4	8' min. ht.	
<b>Total trees</b>	<b>16</b>		
Median Trees	30 ft. o.c.	2"	
Median Shrubs	4/tree	5 gallon	



**Figure 2-5**  
**Collector Street Landscape –First Tee Parkway & Golf Course Drive**

**Table 2-2**  
**Collector Street Landscape Materials Schedule – First Tee & Golf Course Drive**

Typical 200' Long Segment (both sides of the street) of Planting & Mulching Specifications  
 (Total square footage excluding sidewalk approximately 5,400 sf)

<u>Plant Materials</u>	<u>Quantity</u>	<u>Plant Size</u>	<u>Min Caliper Size</u>
Mulch – Bark	1,500 sf (approx)		
Mulch – Rock (4" minus)	1,000 sf (approx)		
Turf	3,000 sf (approx)		
Shrubs	37	1 gallon	
	22	5 gallon	
	2	15 gallon	
Groundcover (w/bark mulch)	95	1 gallon	
Deciduous Trees	2		1 1/2"
	3	B&B or Box	2"
	4	B&B or Box	3"
Evergreen Trees	3	8' min. ht.	

### 3. Neighborhood Street Tree Concept

Aesthetically street trees create rhythm, soften the visual environment, and provide shade for pedestrian paths. Street trees within the PD will be consistent along all residential streets in the neighborhoods. Deciduous, broadleaf canopy trees will be planted in a regular, linear fashion along the street, set back from the edge far enough to accommodate their ultimate growth. (Refer to Streetscape **Figure 2-6 thru 2-8**)

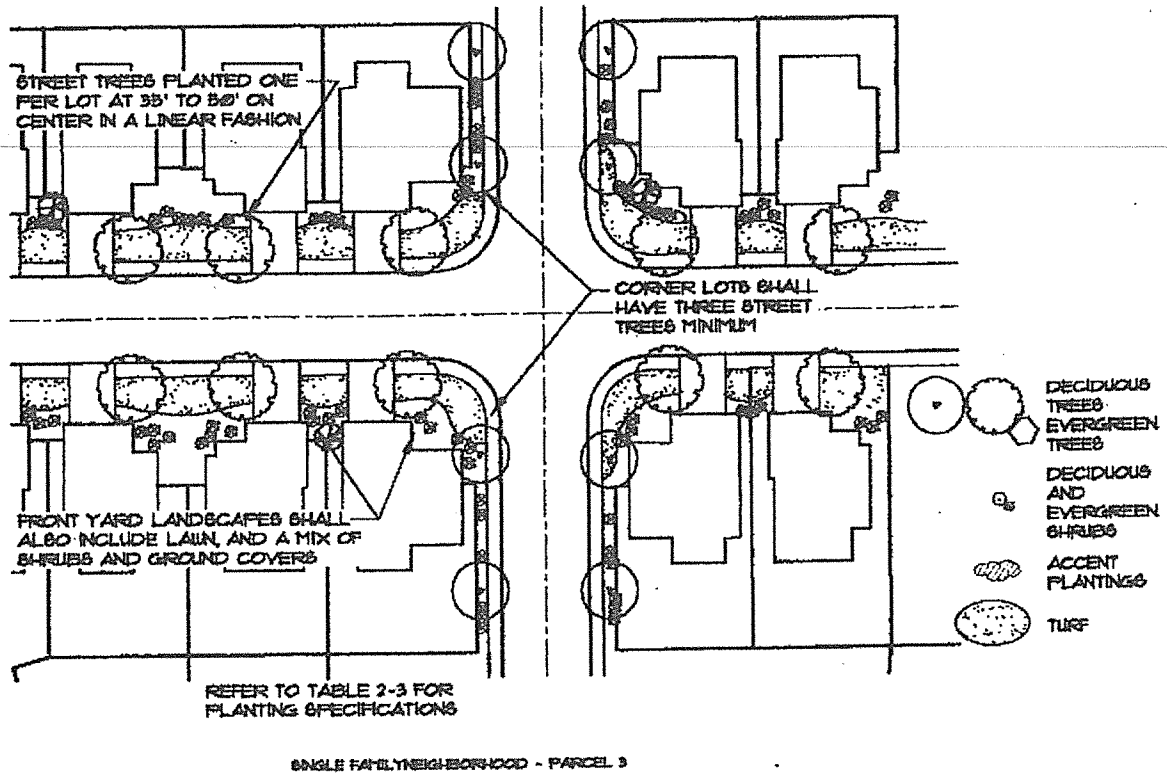
#### a. Street Trees – Front Yard Landscape

The primary landscape delineator within residential neighborhoods will be street trees spaced regularly every thirty-five to fifty feet (35' - 50') on center as or in areas appropriate to the ultimate growth habit of the species. Street trees shall have a minimum as specified in Tables 2-3 thru 2-5. Deciduous street trees will be planted in a linear fashion along the street with a minimum of one (1) street tree per standard lot and a minimum of three (3) street trees at corner lots, depending on the type of housing units. Additional street trees may be required to maintain continuity of the overall pattern. (Refer to *Typical Front Yard Landscape Plan Figure 2-6 thru 2-8*)

The following **Table 2-3** specifies the required front yard landscaping for the Single Family residential Development Parcel 3.

**Table 2-3**  
**Single Family Development Parcel #3**  
**Front Yard Minimum Landscaping Requirements**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf lawn	70% max. cover	Sod	N/A
Shrubs	12	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Street trees for standard lot	1	B&B/Box	2 "
Street trees for corner lots	3	B&B/Box	2 "

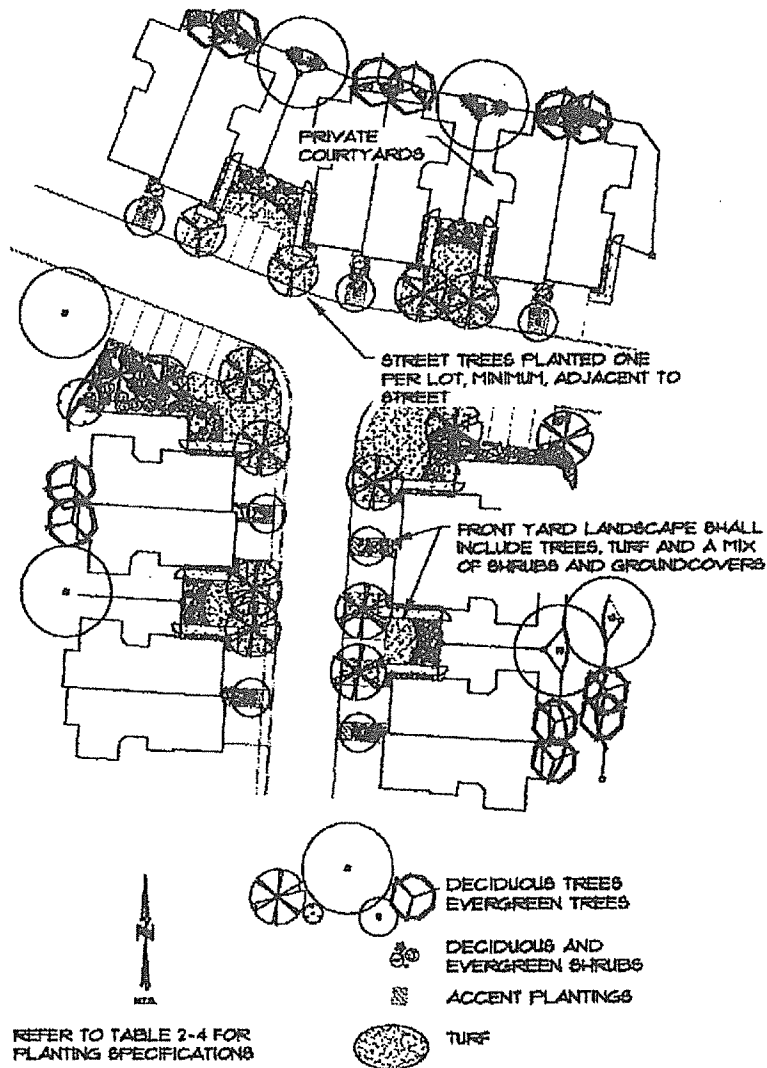


**Figure 2-6**  
**Streetscape – Single Family Neighborhood Parcel 3**

The following *Table 2-4* specifies the required front yard landscaping for the Townhouse residential Development Parcel 4.

**Table 2-4**  
**Townhomes Development Parcel #4**  
**Front Yard Minimum Landscaping Requirements**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf lawn	70% max. cover	Sod	N/A
Shrubs	12	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Street trees for townhome lot	1	B&B or Box	2"
Street trees for corner townhome lots	2	B&B or Box	2"



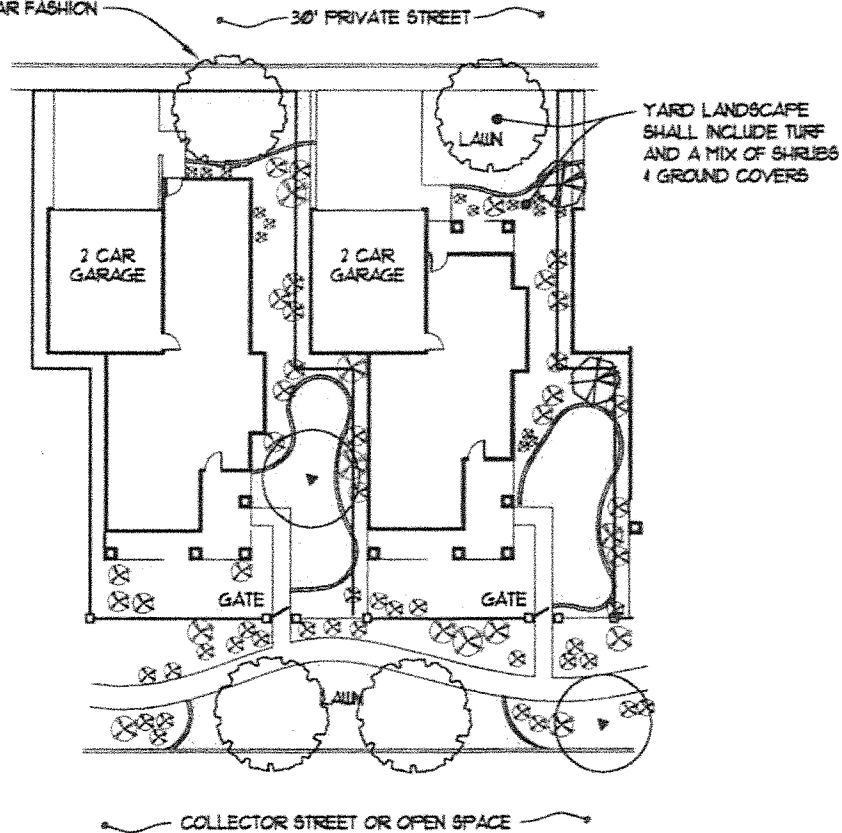
**Figure 2-7**  
**Streetscape – Townhomes Neighborhood Parcel 4**

The following **Table 2-5** specifies the required front yard landscape requirements for the Zero Lot Line housing Development Parcel 5.

**Table 2-5**  
**Zero Lot Line Development Parcel #5**  
**Front Yard Minimum Landscaping Requirements**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf lawn	70% max. cover	Sod	N/A
Shrubs	12	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Street trees for bungalow lot	1	B&B or Box	2"
Street trees for corner bungalow lots	3	B&B or Box	2"

STREET TREES PLANTED ONE PER LOT AT 30'-40' ON CENTER IN A LINEAR FASHION



REFER TO FIGURE 8-5 FOR COLLECTOR STREET LANDSCAPING AND FIGURE 8-12 FOR OPEN SPACE LANDSCAPING

**Figure 2-8**  
**Streetscape – Zero Lot Line Neighborhood Parcel 5**

## B. General Landscape Design Standards

All areas to be landscaped shall be planted with trees, shrubs, groundcover, etc. selected from the Landscape Palette list to be provided by the Master Developer and included in the appendix (see attached). This list will stress use of native and/or drought tolerant trees, shrubs, and groundcovers for a pleasing look in all seasons. Parcel Developers shall assess existing landscaping adjacent to their property and reinforce and complement that established character. Landscape plans are to be prepared by a licensed landscape architect. Parcel Developers shall submit landscape and irrigation plans to the Master Developer, and the City of Sparks for approval. Landscape plans shall indicate how the design meets plant selection criteria, spacing, and massing standards.

### 1. Parcel 3 Peripheral Common Area - Golf Course Edge and Rough Areas - Sun Valley Diversion Channel Area – Regional Trail

With the exception of riparian areas, landscaping within natural open space will be typified by low growing native and/or drought-tolerant shrubs, groundcover, and/or re-seeded native grasses. Where appropriate, open space trees will be in irregular masses or groves. These masses shall be located at the entry points of the peripheral trail in Parcel 3, at the open space connections to the channel in Parcel 5 and in areas of the golf course specified by the golf course architect. Open space trees shall have a minimum caliper as specified in Table 2-6 and be planted in groupings as appropriate to the eventual growth of the species selected. (Refer to *Figures 2-9 through 2-12*)

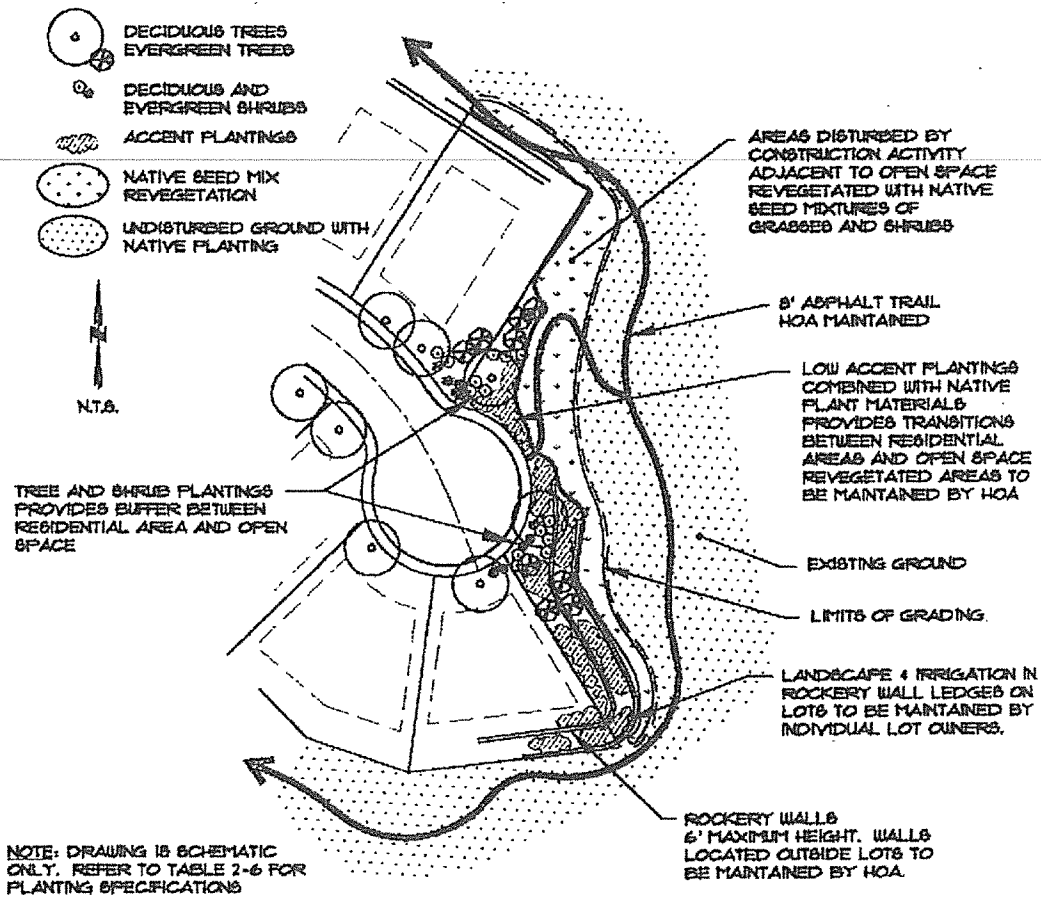
The following *Table 2-6* specifies the required landscaping for these open space areas defined above.

**Table 2-6**  
**Open Space Re-vegetation Areas (Figure 2-9, 2-14 through 2-16)**  
**Minimum Landscaping Requirements Per 1,000 sq. ft. area**

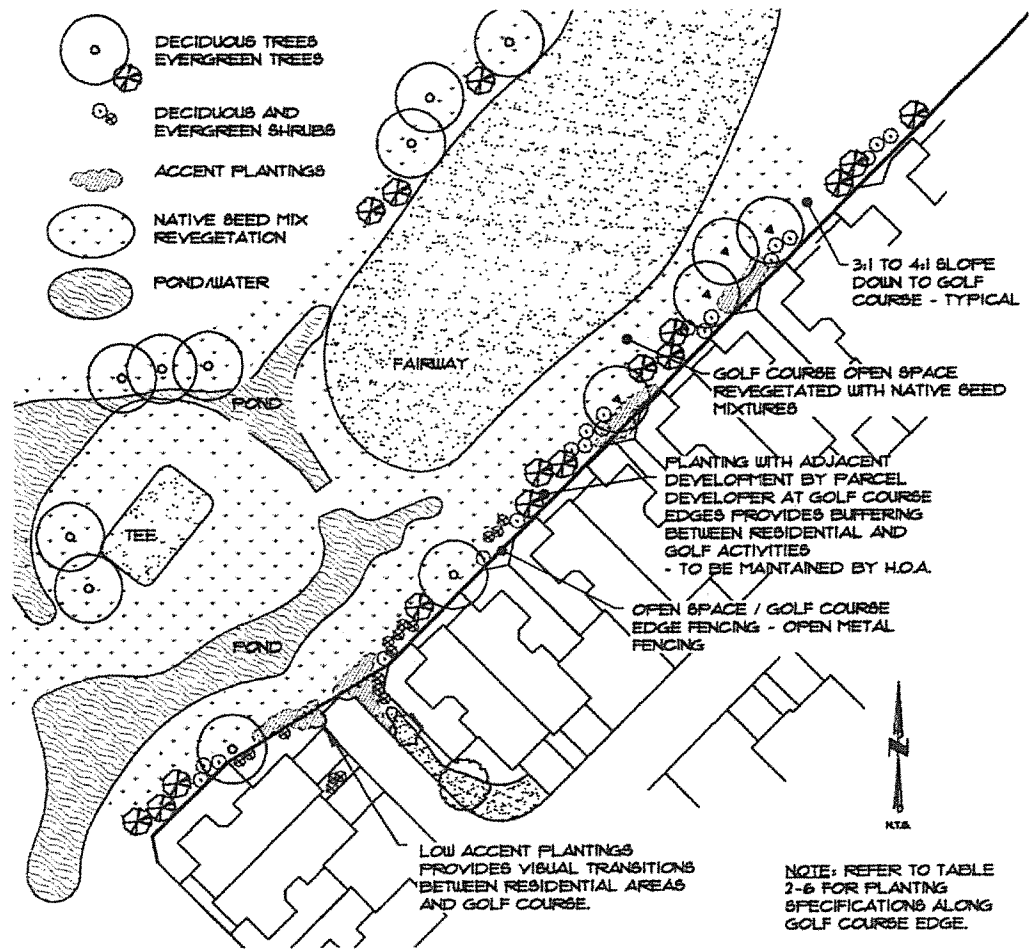
<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Re-vegetation	80% max. cover	Sod	N/A
Shrubs	6	5-gallon	N/A
Ground cover or additional shrubs	20% min. cover	5-gallon (or equal)	N/A
Deciduous Trees	2	B&B or Box	2 "
Evergreen Trees	3	6 ft. height	

Open space trees and shrubs shall be non-invasive species compatible with the habitat of natural areas. Shrubs will be planted only where visibility to open space and residential security are not compromised. Plant materials in open space adjacent to residential uses shall be drip irrigated. Re-seeded native grasses shall not require irrigation for establishment or maintenance. (Refer to *Figure 2-12*) Bonds shall be required for re-vegetated areas without temporary irrigation. The bonds shall be released after determination of establishment by the Administrator. Drip irrigation shall be required for all trees, shrubs, and groundcovers planted in open space common areas.

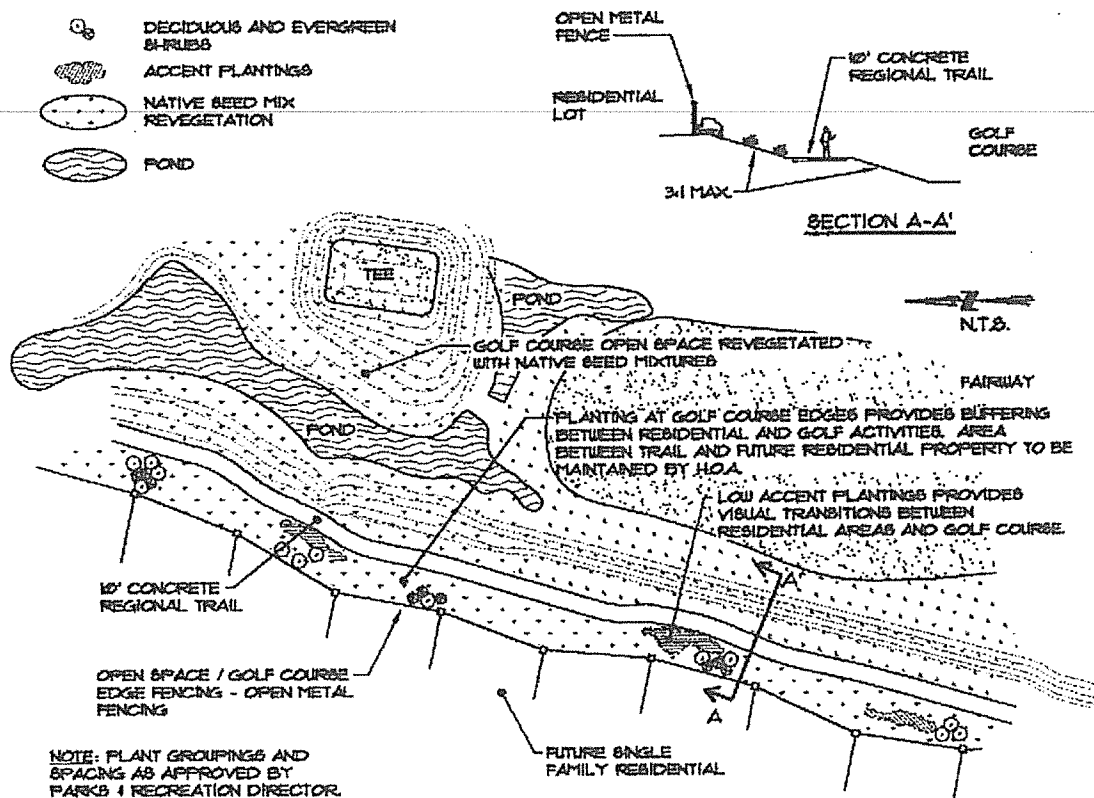




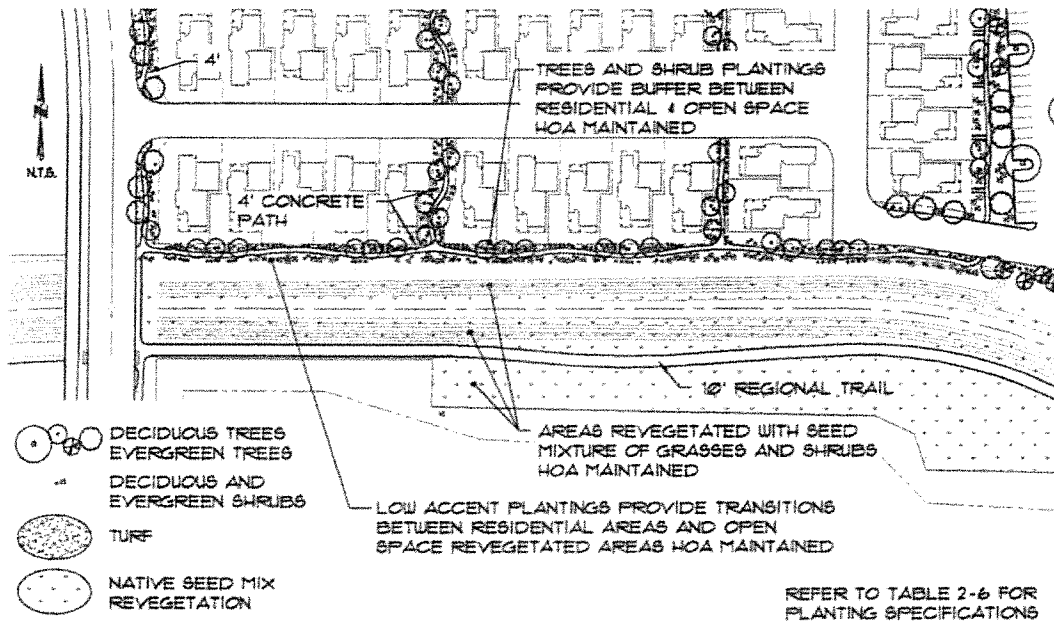
**Figure 2-9**  
**Open Space Revegetation**



**Figure 2-10**  
**Golf Course Edge – No Path**



**Figure 2-11**  
**Future Single Family Residential with Regional Path**



**Figure 2-12**  
**Sun Valley Diversion Channel Edge/Zero Lot Line Open Space**

a. Riparian Trees

It will be desirable to enhance the riparian character of the wetlands with the addition of riparian trees. (Refer to *Figure 2-13*) Riparian trees shall be planted as single specimens or groves as appropriate to the eventual growth of the species selected. Riparian trees shall have a minimum one-inch (1") caliper. Landscape materials within planting areas adjacent to riparian areas will be non-invasive species compatible with the natural habitat. Installation of riparian trees shall be consistent with requirements of agencies having jurisdiction over riparian areas if applicable. Locations for these trees shall be determined by the golf course architect and City of Sparks Parks and Recreation Director.

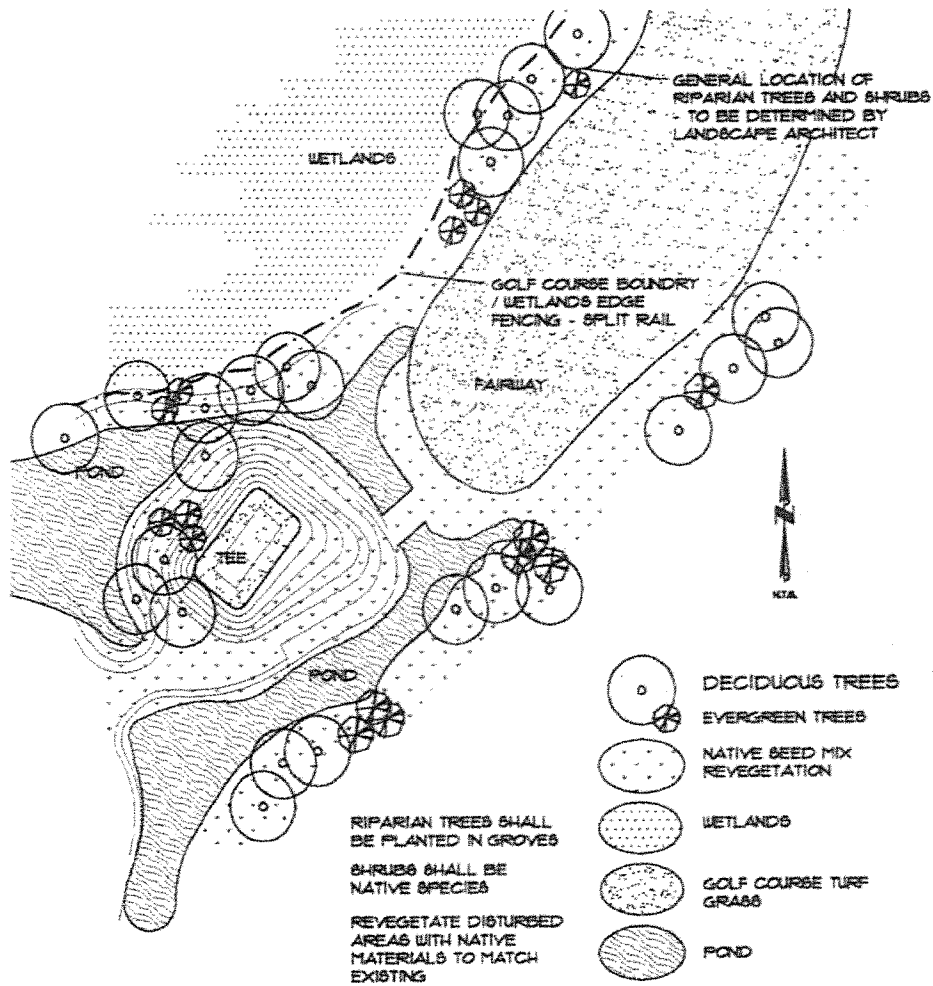


Figure 2-13  
Riparian Trees

## 2. Site Preparation

The following standards provide for specific aesthetic treatment of finished earth forms, compatible relationships between buildings, parking, road, adjacent properties, and avoidance of poor drainage.

### a. Grading

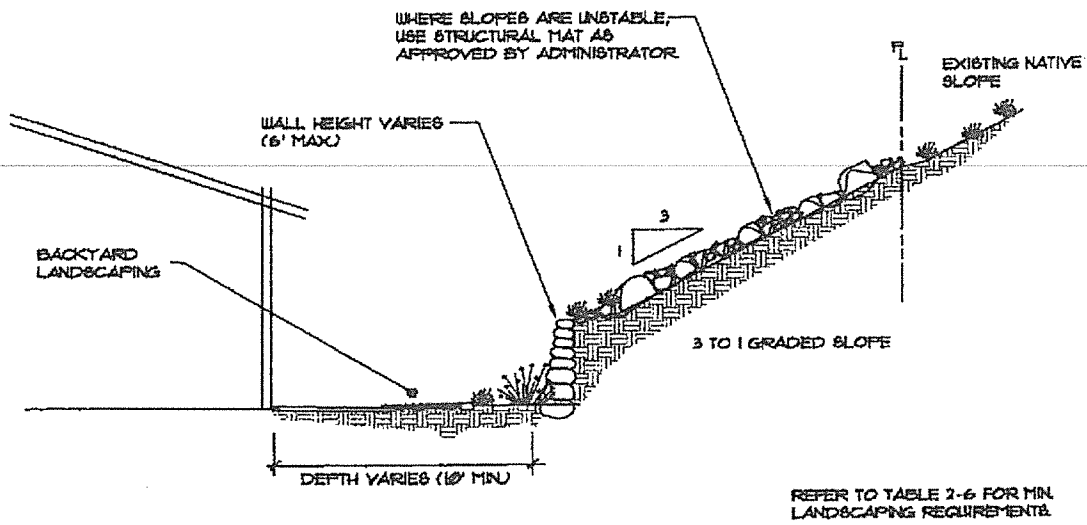
#### i. Street Grading and Drainage

Public roads shall be dedicated to the City of Sparks. Except as provided herein, public roads shall conform to City of Sparks standards including those for structural section, cross fall, curb and gutter, curve radius, tangent length, allowable grade, grade breaks, vertical curves, and bike paths. A roadway drainage system capable of handling the 5-year storm, per City of Sparks standards, shall be provided in all public roads.

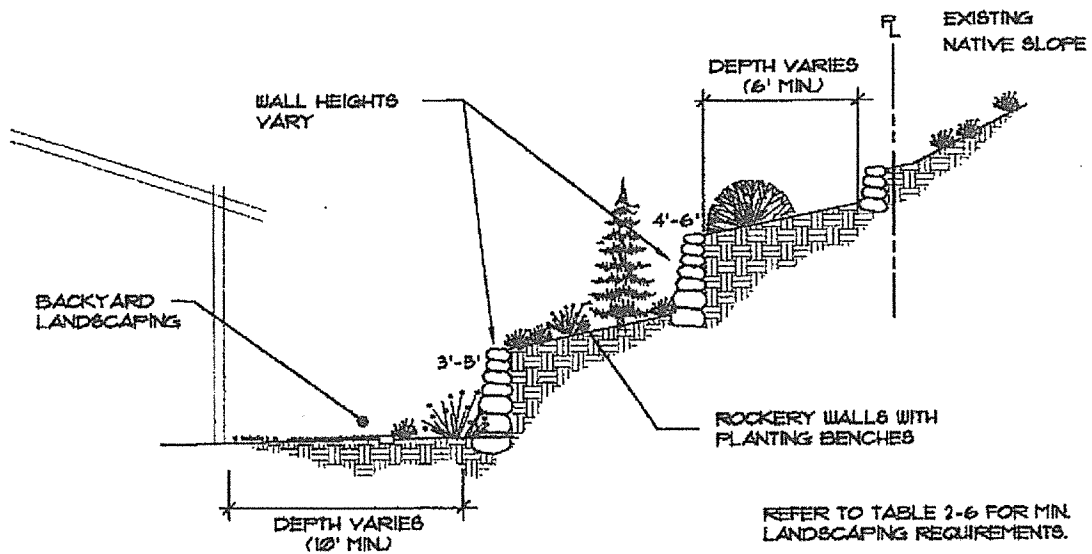
#### ii. Parcel Grading and Drainage

Parcels shall be graded in accordance with City of Sparks standards and the Uniform Building Code. Minimum grade on plane-graded areas (paved or unpaved) and unpaved swales shall be one percent. Minimum grade on paved swales shall be 0.5 percent. Roof drains shall discharge to erosion-resistant pervious (non-paved) surfaces where possible. Stormwater drainage will comply with city, county, state, and federal standards that are in effect at time of application for each building permit.

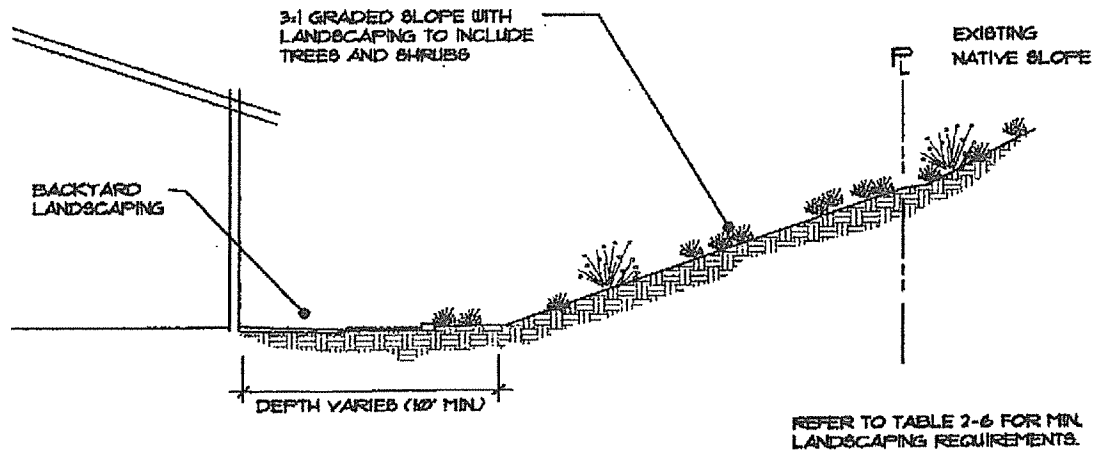
All slopes in cut and fill shall conform to recommendations and requirements of the Soil Engineer's report. In no case shall they exceed two (horizontal) to one (vertical) unless approved by the City. Tops of cuts and toes of fills are to undulate and be rounded smoothly into those existing to blend as much as possible. All site grading shall be designed to meet the standards in *Table 2-7. (Refer to alternative slope treatments Figures 2-14 through 2-16)* These alternative slope treatments shall be typically used in the single family residential Development Parcel 3.



**Figure 2-14**  
**Alternative Slope Treatment #1**



**Figure 2-15**  
**Alternative Slope Treatment #2**



**Figure 2-16**  
**Alternative Slope Treatment #3**

**TABLE 2-7**  
**SITE GRADING STANDARDS**

Use Areas	Min. Slope	Max. Slope
Lawn Area	2%	20%
Landscape Areas	2%	30%
Parking Lot	1%	5%
Access Driveways	2%	5%
Pedestrian Areas	1%	3%
Pedestrian Walkways	1%	5%
Golf Cart Pathways	0.5%	8%
Common Areas	2%	20%
Picnic Areas	2%	10%
Tot Lot	2%	sloped to drain

All 2:1 slopes will be mechanically stabilized using materials such as turf reinforcing material with vegetative cover to the approval of the City Engineer and Administrator. All slopes 3:1 or less will be bio-mechanically stabilized with biodegradable straw matting and appropriate plant material to the approval of the City Engineer and Administrator.

Natural drainage courses will be incorporated into landscaping as surface drainage and dry creek courses. Drainage solutions that conform to the natural character of the landscape, minimize change of existing topography, and preserve the drainage network are encouraged.

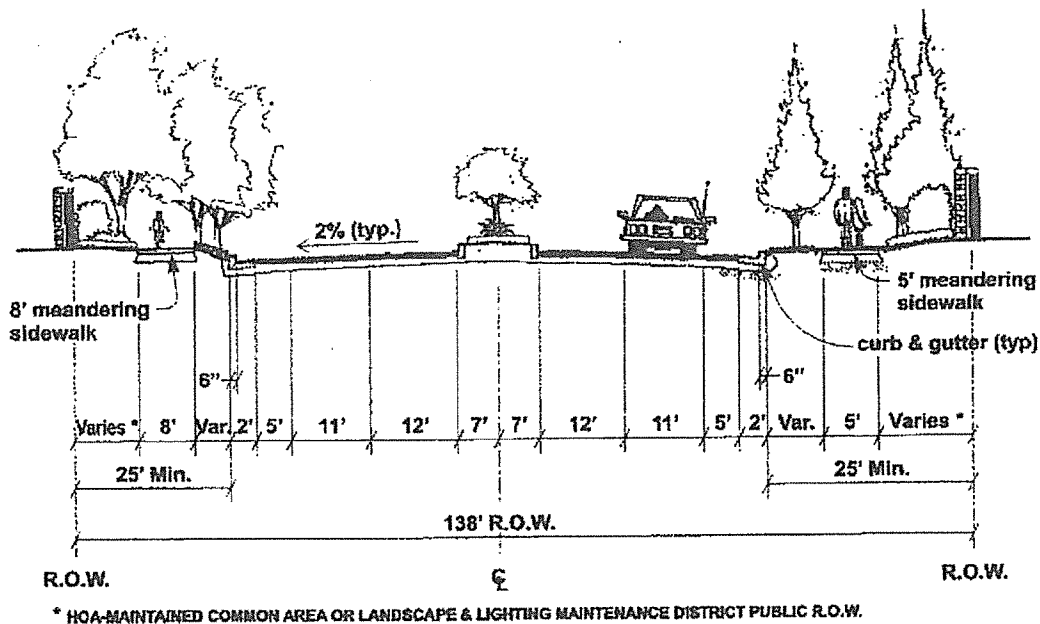


### C. Roadway Design Standards for Typical PD Setting

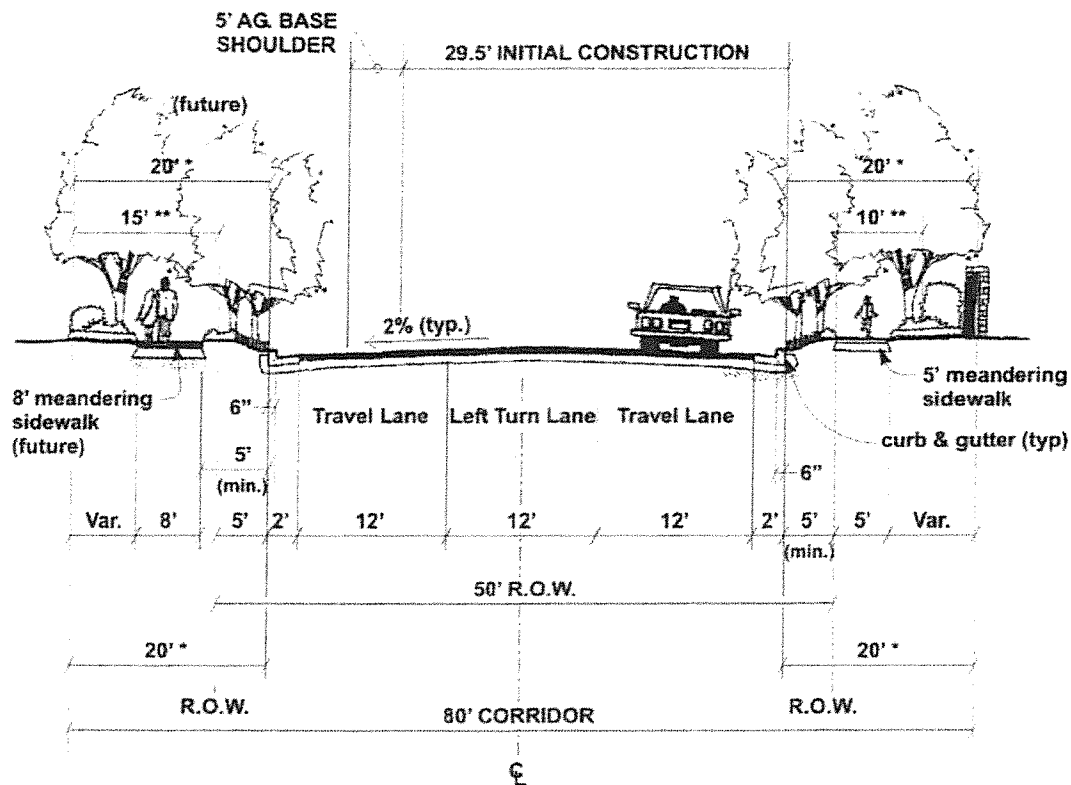
Within the PD there are a variety of roadways that accommodate specific functions. Each of these will be distinguished by its own unique design requirements as described in the following sections. (Refer to Figure 2-3a and 2-3b) for locations.

#### 1. Roadway Design

Major arterial street access to the Northeast Golf Community Planned Development (PD) occurs on Vista Boulevard which fronts on Parcels 3 and 5 and serves as a primary north-south connection between the City of Sparks and unincorporated Spanish Springs Valley. First Tee Parkway and Golf Course Drive are collector streets that extend from other Kiley Ranch neighborhoods through the PD to other parts of the local road network and adjacent development parcels. These major streets will provide an identity for the PD through use of the arterial frontage and parkway landscaping, entry features, street trees, and other landscape features on the adjacent corridors and medians. The primary streets within the PD are designed as minor arterial and collector streets at the main project entries throughout the project. (Refer to Figures 2-17 and 2-18.)



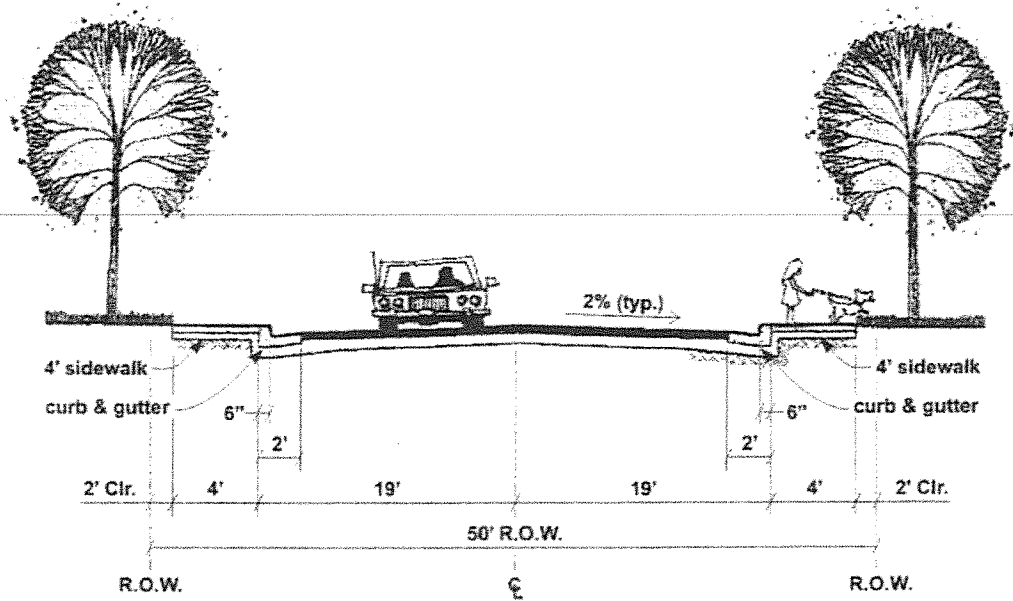
**Figure 2-17**  
**Vista Boulevard Right-of-Way Frontage**



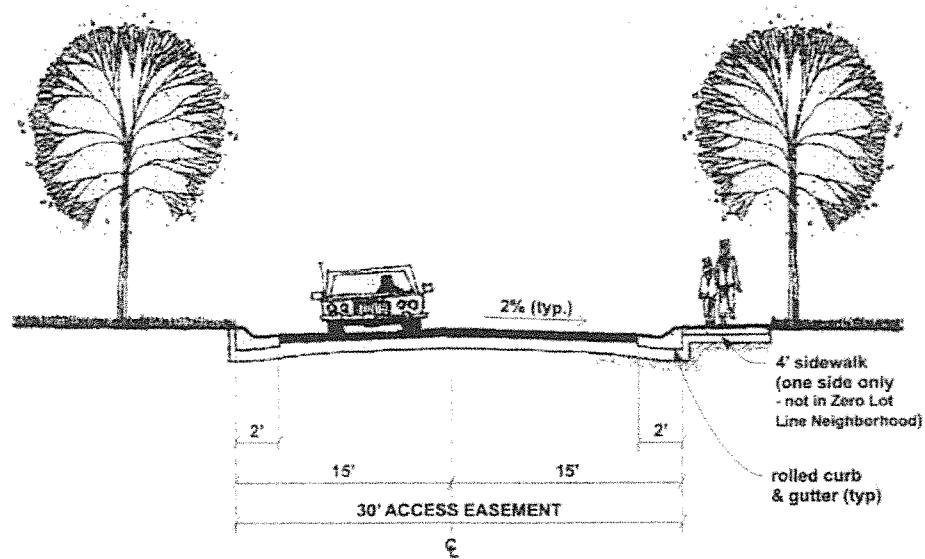
\* LANDSCAPE BUFFER TO BE GRANTED AND CONSTRUCTED WITH ADJACENT DEVELOPMENT  
 \*\* LIMIT OF SIDEWALK MEANDER

**Figure 2-18**  
**First Tee Parkway and Golf Course Drive**

The local streets within the PD are designed as public and private streets throughout the project. (Refer to *Figures 2-19 and 2-20*).



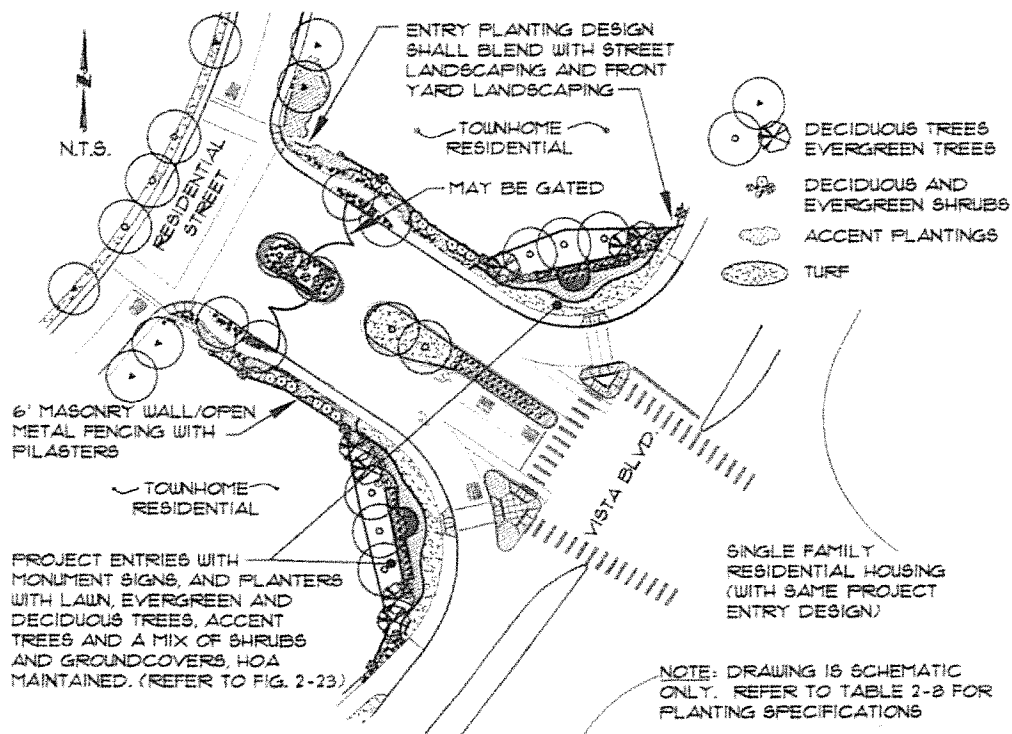
**Figure 2-19**  
**Residential Street Section (Public)**



**Figure 2-20**  
**Residential Street Section (Private)**

## 2. Project and Neighborhood Entries Design

Two of the project entries to the Kiley Ranch Northeast Golf Community Planned Development shall be located along the Vista Boulevard that forms the southeastern boundary of Parcel 4 and the northwestern boundary of Parcel 3 of the development. The project entry for development parcel 3 and 4 shall be located where their main access drives intersect with Vista Boulevard. (Refer to *Figure 2-21*) This intersection is to be designed as a signalized intersection if warranted. It is intended to serve both residential areas (Parcels 3 & 4) adjacent to Vista Boulevard. The neighborhood entry is located at the intersection of First Tee Parkway and the main entry drive to Parcel 5. (Refer to *Figure 2-22*)

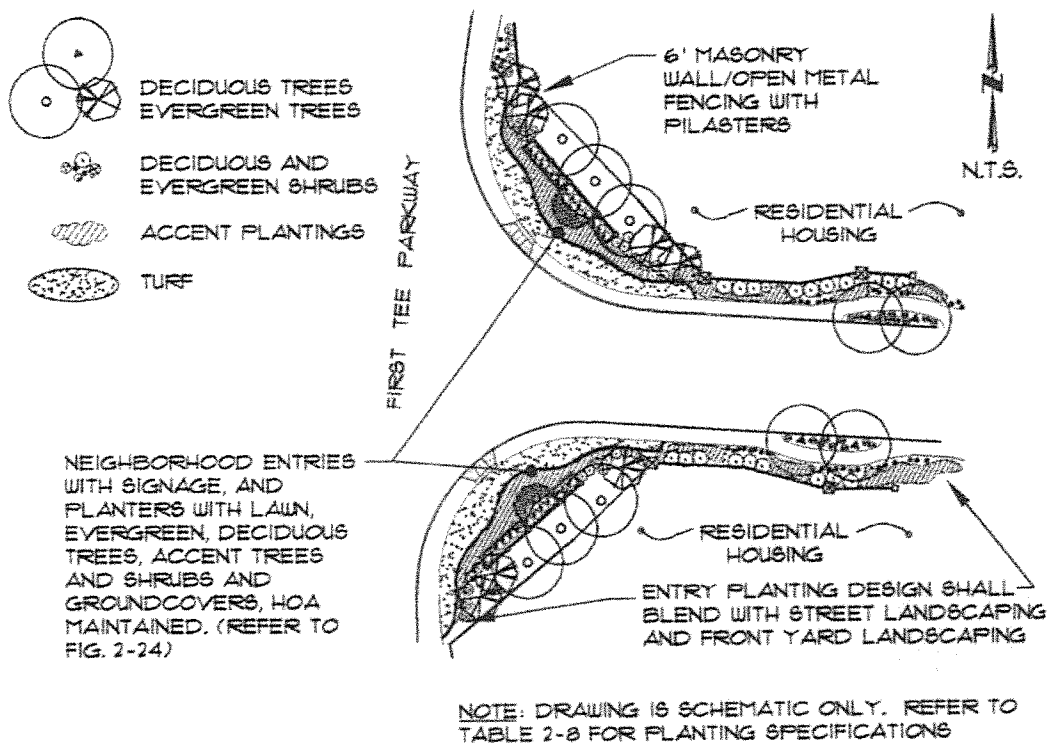


**Figure 2-21**  
**Project Entries – Vista Boulevard at Parcels 3 & 4**

Project entries will provide a distinct gateway and sense of arrival to the. Development parcel. They must be highly visible from significant distances and readily communicate the thematic character and image of the project to motorists traveling at speed. The entry composition will combine elements such as walls, columns, or other architectural expressions, intensified landscape development, and specialized features such as trellises, detailing accents, special pavements, or other construction materials consistent with the thematic concept into an integrated expression which evokes the Kiley Ranch theme: a southwest ranch.

Signs will be front lighted and include a common logo element. At these locations the landscape corridor will be widened to accommodate intensified development, including accent and landmark trees, and other special landscape elements to signify the gateway. Such landscape design must meet the minimum visual site distance requirements of the City of Sparks.

Project entries shall be designed to the approval of the City of Sparks Parks and Recreation Director and Administrator prior to approval of a Final Map or Site Plan Review for the project. Project entries shall be installed pursuant to such approvals before issuance of the first Certificate of Occupancy for the project.



**Figure 2-22**  
**Neighborhood Entry – First Tee Parkway at Parcel 5**

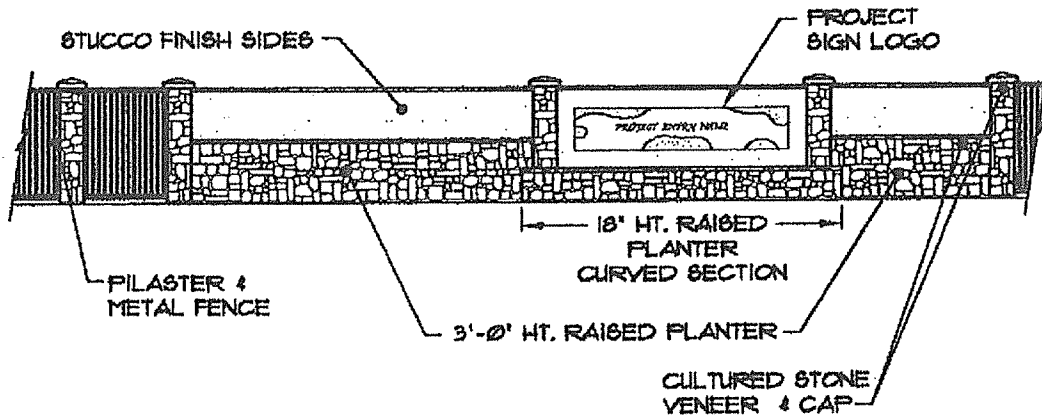
Neighborhood and project entries shall be distinctive in their landscape design. Landmark trees with distinctive forms and/or colors shall be used to help establish a special identity. Street tree patterns will be interrupted by landmark trees in the vicinity of project signage. Shrubs and groundcovers will be utilized to enhance the entry to the neighborhood. These materials shall include groundcovers with interesting form or habit or large expanses of colorful flowers. Low angled lighting will be used to front-light the project name and logo. **Table 2-8 and 2-9** specify the minimum landscape requirements for the project and neighborhood entries.

**Table 2-8**  
**Project Entry Development Parcel 3 and 4**  
**Minimum Landscaping Requirements For Entry. Area Each Side ±800 sq.ft.**

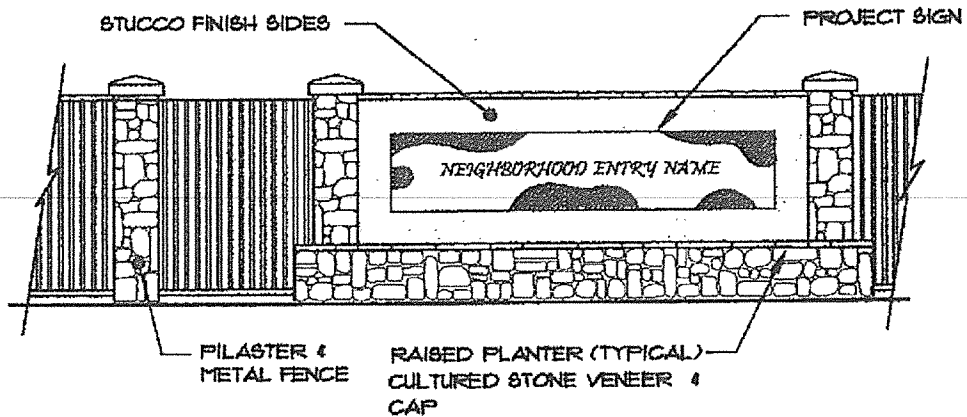
<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf	50% max. cover	Sod	N/A
Shrubs	50	5-gallon	N/A
Ground cover or additional shrubs	50% min. cover	5-gallon (or equal)	N/A
Deciduous Trees	8	B&B or Box	2"
Evergreen Trees	8	6 ft. height	
Landmark Trees	6	B&B or Box	3"

**Table 2-9**  
**Neighborhood Entry Development Parcel 5**  
**Minimum Landscaping Requirements For Entry. Area Each Side ±400 sq.ft.**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf	50% max. cover	Sod	N/A
Shrubs	30	5-gallon	N/A
Ground cover or additional shrubs	50% min. cover	5-gallon (or equal)	N/A
Deciduous Trees	6	B&B or Box	2"
Evergreen Trees	4	6 ft. height	
Landmark Trees	6	B&B or Box	3"



**Figure 2-23**  
**Project Entry Monument Sign**



**Figure 2-24**  
**Neighborhood Entry Monument Sign**

A final Monument Design Plan for Kiley Ranch Northeast Golf Community will be submitted to the City staff for their approval with the Conformance Review and prior to submittal of the first final map and will thereafter be considered part of the Design Standards for this project. Developers shall install neighborhood entries, designed pursuant to the Final Master Signage and Monument Master Plan, prior to issuance of the first Certificate of Occupancy for the project.

### 3. Pedestrian Corridors in Parcel 5 and Common Areas in Parcel 4

*Figure 2-3a and 2-3b* illustrate where the following facilities are located. Landscaping in pedestrian corridors, along streets, and in common areas help to define the overall image and character of the neighborhoods. Pedestrian corridors shall be a minimum of 32' wide along Vista Boulevard and 20' wide along collector streets and feature a five-foot (5') or eight foot (8') wide sidewalk meandering in a landscaped corridor. The internal pedestrian corridors in development parcel 5 shall include a 4' meandering sidewalk. Pedestrian corridors and common areas will be landscaped with a variety of trees, shrubs, groundcovers, and, in many areas, turf lawns. Within common areas, shade trees will be planted in large masses or groves, adjacent to trails, picnic areas, tot lot and seating areas. Special features will be highlighted with intensified plantings to add interest, prominence, and/or improve user comfort (i.e. provide shade, wind protection, etc.) Refer to *Figure 2-12 and 2-25 through 2-29*.

Three-foot (3') lighted bollards will be located at common area/pedestrian corridor entries to highlight their locations and to prevent auto access. Bollards will be constructed of materials consistent with the Planned Development's theme and be removable for emergency access and ease of maintenance.

Recreation areas in Parcel 4 shall be provided only in areas with sufficient space to accommodate play areas and sufficient view corridors to allow the play areas to be easily supervised by adults. Hazards such as high retaining walls maximum height of 3', poisonous/thorny planting, steep slopes not exceeding 20% slope, etc. shall not be allowed in common areas and pedestrian corridors as children tend to play everywhere and not just in designated areas. Ample seating and well landscaped shaded areas shall be provided around recreation areas. Hiding places in the landscape that may attract undesirable activities shall be avoided. Recreation areas in Parcel 4 shall include a tot lot, half court for basketball, a fitness cluster, and large and small group picnic areas. Refer to *Figures 2-25 through 2-29*.

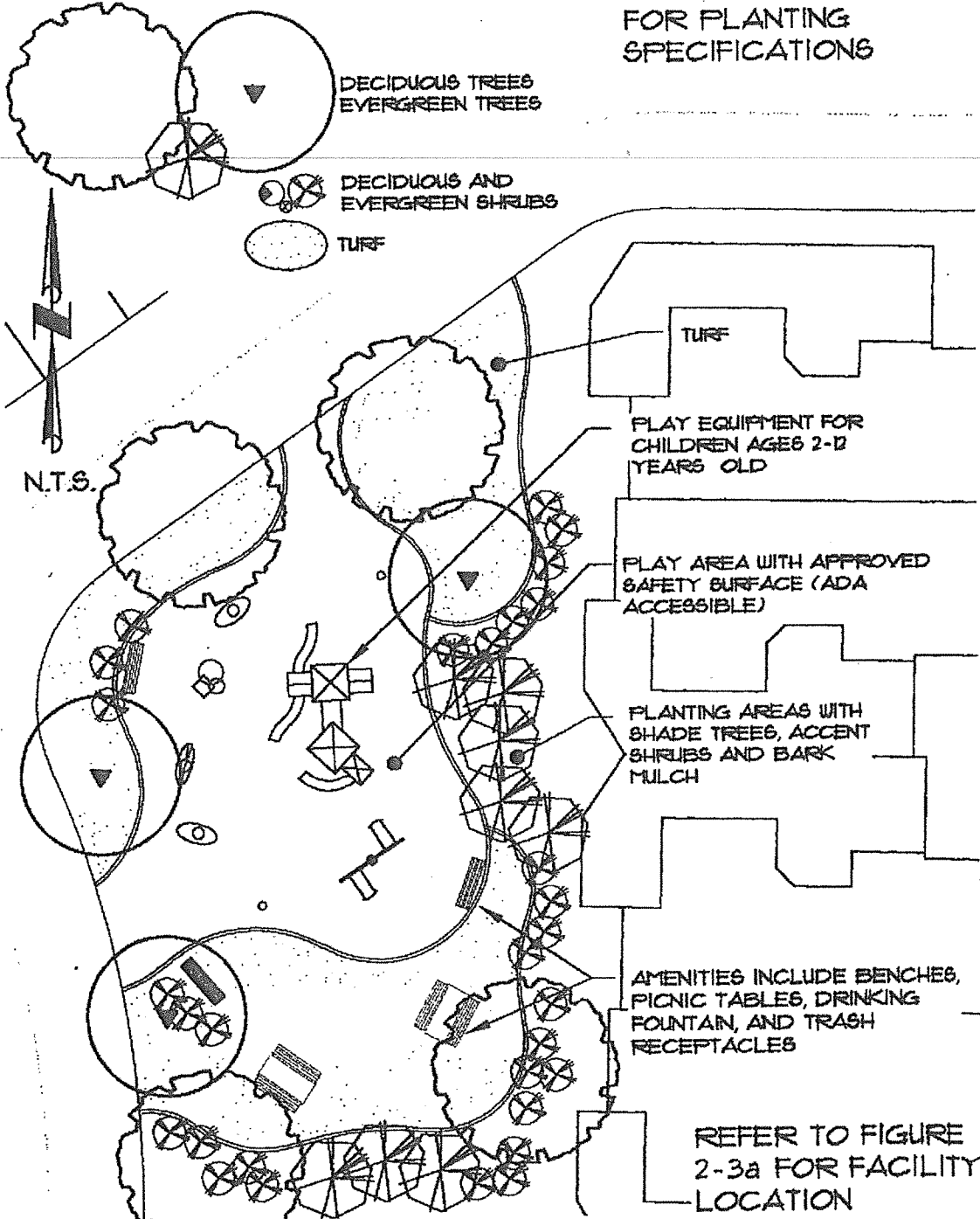
The following *Table 2-10* specifies the required landscaping for the ornamental common areas in Development Parcel 4 and 5.

**Table 2-10**  
**Common Area Ornamental Landscape Development Parcel 4 and 5**  
**Minimum Landscaping Requirements Per 1,000 sq. ft. of Area**

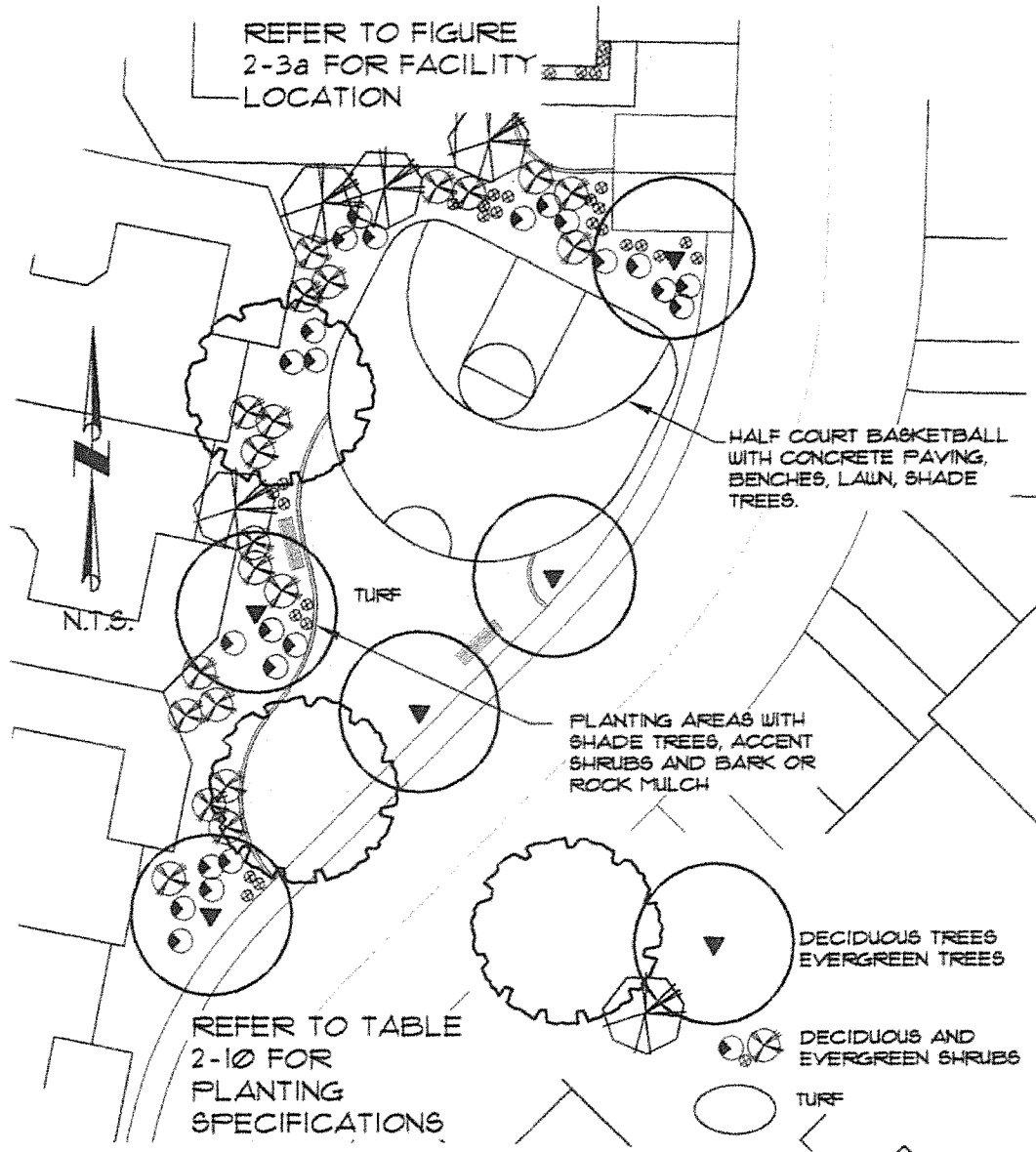
<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf	70% max. cover	Sod	N/A
Shrubs	10	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Deciduous Trees	3	B&B or Box	2 "
Evergreen Trees	2	6 ft. height	
Landmark Trees	1	B&B or Box	3 "



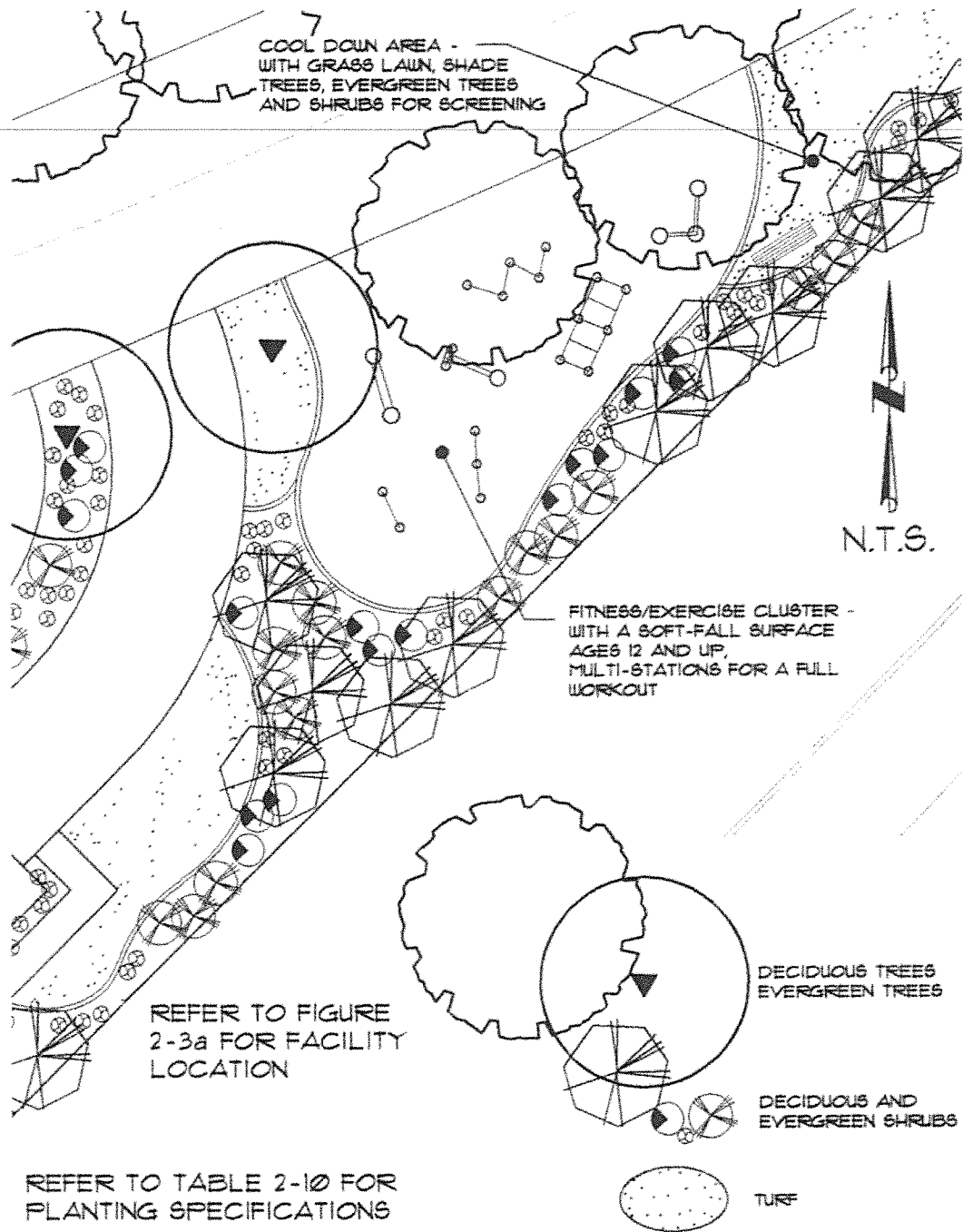
REFER TO TABLE 2-10  
FOR PLANTING  
SPECIFICATIONS



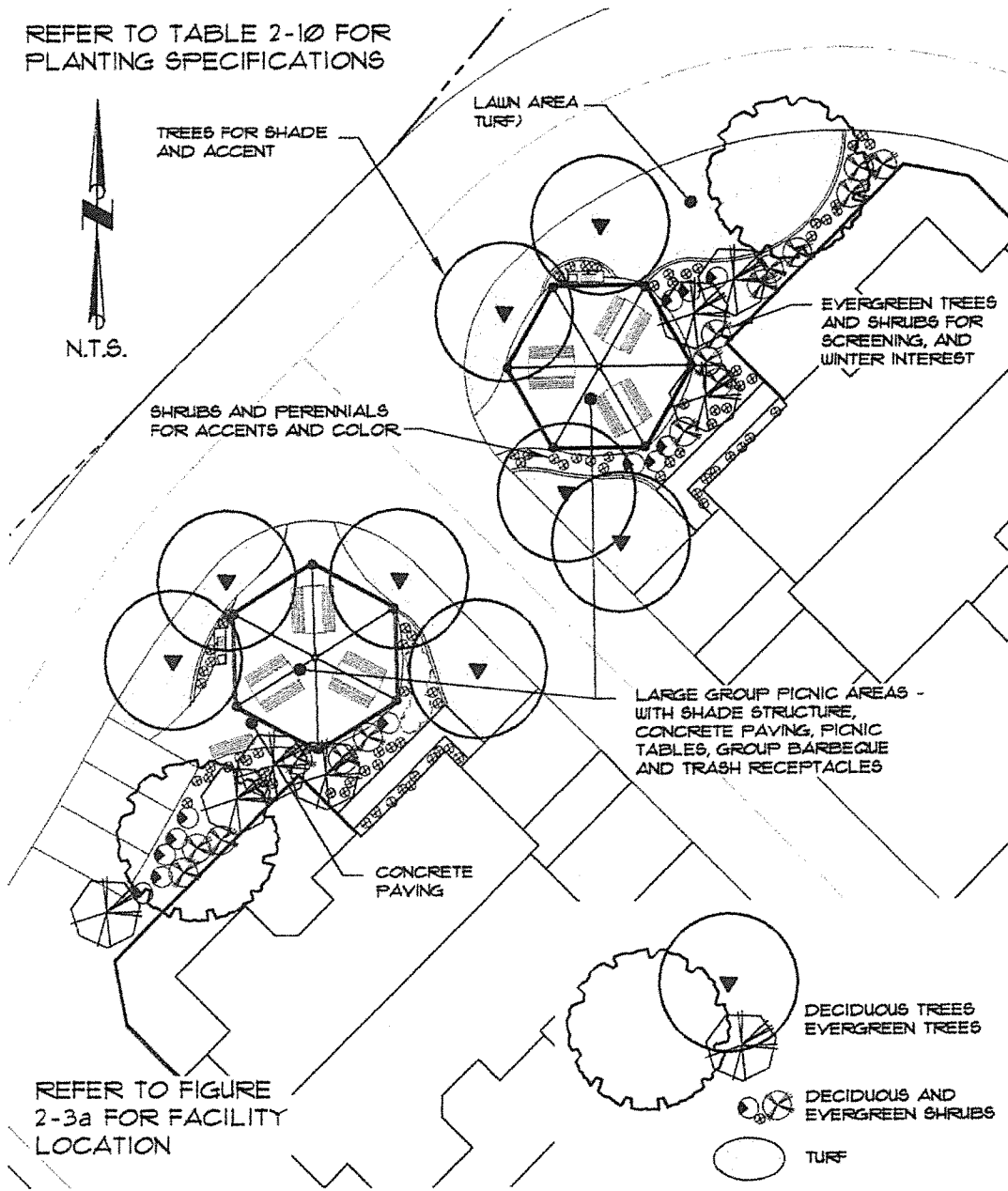
**Figure 2-25**  
**Tot Lot Recreation Area**



**Figure 2-26**  
**Half Court Basketball Facility**

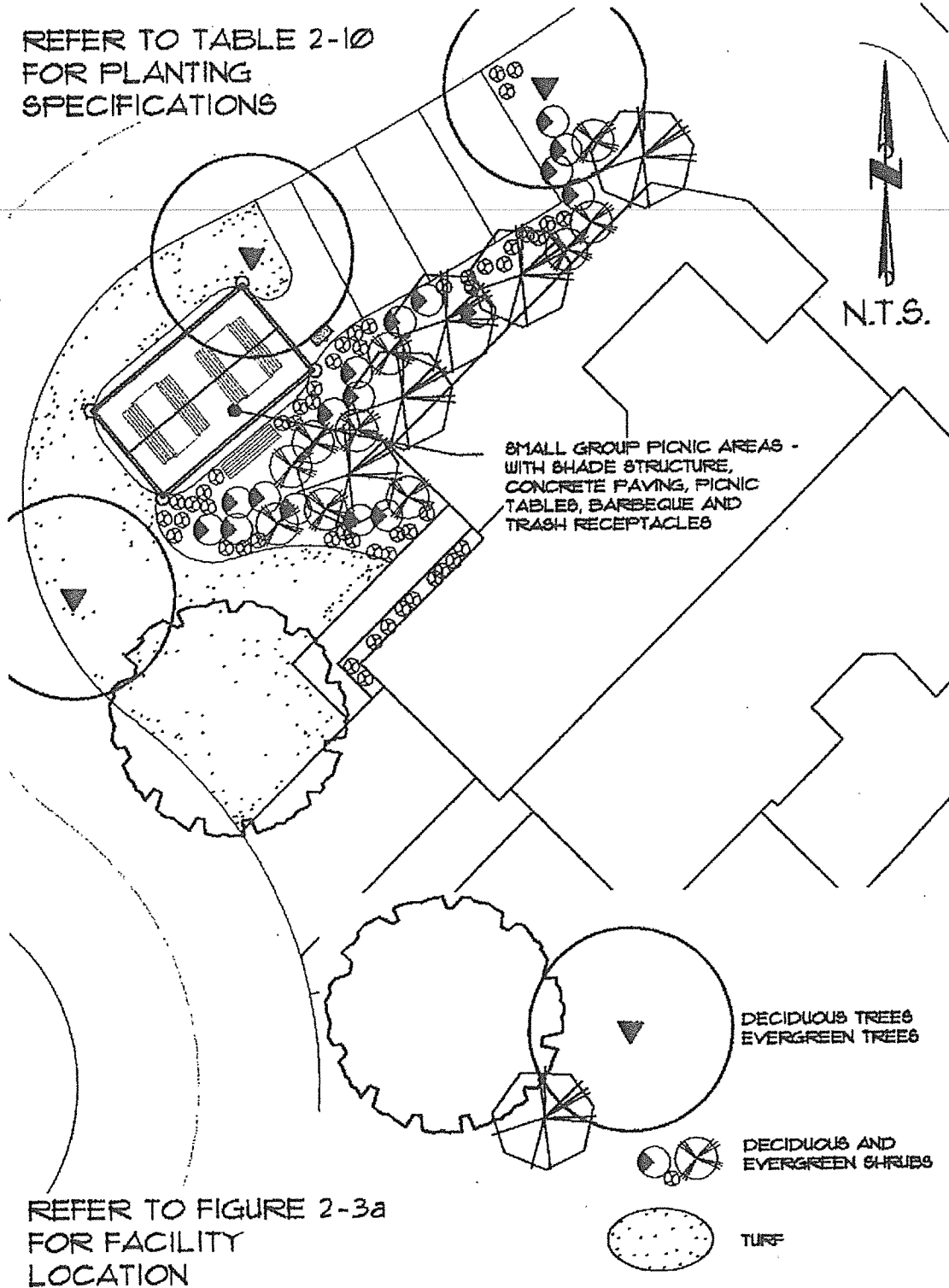


**Figure 2-27**  
**Fitness Cluster**



**Figure 2-28**  
**Large Group Picnic Area**

REFER TO TABLE 2-10  
FOR PLANTING  
SPECIFICATIONS



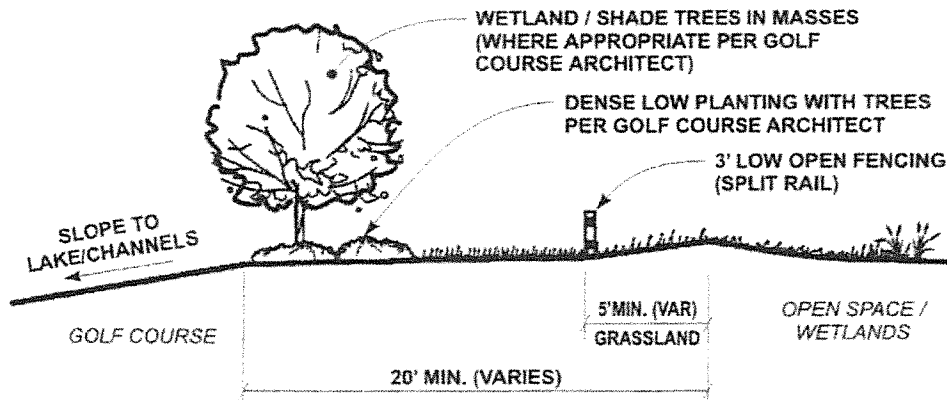
REFER TO FIGURE 2-3a  
FOR FACILITY  
LOCATION

**Figure 2-29**  
**Small Group Picnic Area**

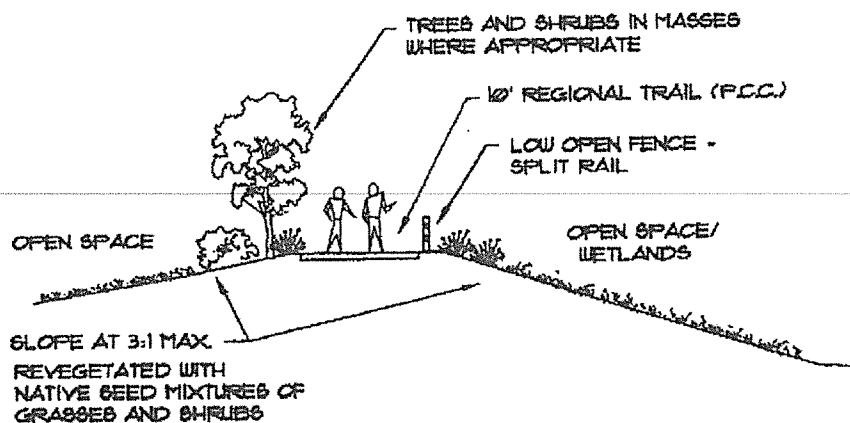
Design and construction of pedestrian corridors and common areas shall be the responsibility of developers with installation concurrent with their associated project phase adjacent to the designated area. Upon completion and approval, maintenance of these landscapes shall become the responsibility of the respective Owners or Homeowners Association, or Landscape Maintenance District, if appropriate.

#### 4. Golf Course Open Space Areas – Hydrological Break at Wetlands Edge.

Earth berms and/or swales will be used to separate and delineate natural open space from formal landscaping, and provide a hydrologic break to prevent surface runoff into the wetlands/open space area. Of particular concern is run-off carrying herbicides, pesticides, fertilizers, and eroded soils. Development of the Planned Development shall integrate these control measures with the overall landscape design for the project as shown in *Figure 2-30*.



*Figure 2-30*  
*Conceptual Hydrological Break at Landscape/Open Space Interface*



**Figure 2-31**  
**Regional Trail at Dam**

Vehicle access to open space and common areas (except for maintenance vehicles) will be prevented through the provision of barriers such as bollards and/or a low, open fence adjacent to the street. Visual and pedestrian connections between developed land uses and the open space should be maintained by the City of Sparks or the applicable Home Owners Association.. Pedestrian/bike paths will be incorporated in open space with access to street edges. In these instances landscaping will be installed to provide visual interest and shade along the bike route. (Refer to *Figure 2-31*)

Where pedestrian paths occur in open space corridors adjacent to residential properties, arterial streets or collector streets the public reports for lot sales shall include notification of the intent to install such public walkways. Pedestrian pathway corridors, including all landscape, pathways, and other improvements, shall be installed concurrent with adjacent homes by individual Parcel Developers.

Where trails extend to project entries, minor streets, and cul-de-sacs, landscaping will be enhanced to clearly denote them as access points. Street trees shall terminate at the open space, allowing the enhanced landscape and open space character to interface with the neighborhood and blend into adjacent front yard landscaping. Refer to *Figure 2-9 and 2-11 thru 12*.

Design and construction of open space areas shall be the responsibility of developers with installation concurrent with their associated projects. Upon completion and approval, maintenance of these landscapes shall become the responsibility of the respective Homeowners Association, Maintenance Association, or Lighting and Landscape Maintenance District.

## 5. Irrigation

All plants will be grouped into zones according to their water requirements, with one valve per zone to minimize over watering. Trees, shrubs, and groundcovers will be irrigated with a drip

irrigation system and/or micro spray heads. Lawn areas will be irrigated with a low gallonage spray system.

Reclaimed water may be used for landscaping wherever feasible and available. The irrigation specifications may require modification if a special use permit is approved for use of reclaimed water. Use of reclaimed water shall be dependent upon the ability of the City of Sparks to provide such service.

The landscape irrigation system shall be a fully automatic underground system with programmable electronic controller, electric valves, and quick couplers for supplemental watering. All main lines and laterals will be equipped with manual drain valves to drain the system in late fall. Automatic drain valves will not be permitted since the automatic valves waste water throughout the irrigation season. All sprinkler heads subject to line drainage shall have anti-drain check valves integral to their construction or incorporated into their riser installation.

Irrigation plans are to be prepared by a licensed landscape architect. Parcel Developers must submit irrigation plans to the Master Developer for review and approval. After approval by the Master Developer, the irrigation plans must be submitted to the City of Sparks for final approval.

## **6. Installation and Maintenance**

As required by NRS 278A.120, all common open space will be set aside for the use and benefit of the owners and residents of the association. The Homeowners Association ("HOA") will own and maintain the common open space. Linear parks/pedestrian corridors will be constructed by the developers at the time adjacent development occurs and owned and maintained by the HOA. Streetscapes may be owned and maintained by either the HOA or a Lighting Landscape Maintenance District.

The Parcel Developer is responsible for the installation of landscape design elements in common areas including residential front and side yard landscaping outside rear and side yard fencing, at the time adjacent development occurs.

Installation and maintenance of all design elements including walls, landscape, signage, etc., is the responsibility of the individual Parcel Developer. The Parcel Developer is responsible for the installation and maintenance of the landscape design elements in the public rights-of-way, landscape easements, and common open space adjacent to any phase to be constructed. As streets are constructed, associated landscaping will be installed. Initially, the Parcel Developer will retain responsibility for the maintenance of these areas. After this initial period, maintenance responsibility will be relinquished to the HOA or Landscape Maintenance Association for associated residential developments or to a Lighting And Landscape Maintenance District.

Landscaping and irrigation installed by the Parcel Developer shall be maintained in an attractive and healthy condition. Maintenance responsibility will eventually be transferred to the HOA, Landscape Maintenance Association, or Lighting and Landscape Maintenance District. All dead or damaged plant material shall be replaced with the same materials matching the size and



height of adjacent material within 3 months or by the next growing season if removed in the late fall.

From the completion of installation, landscaping shall be maintained in an attractive and healthy condition. All Parcel Developers will be required to maintain plant materials in common areas utilizing proper horticultural techniques of pruning, pest control, and fertilization. When landscaping is not properly maintained, the Parcel Developer or HOA may, after 30 days notice, enter private property for maintenance purposes and bill the property owner. Residential landscaping installed by Parcel Developers in front and side yards, shall be maintained by the individual homeowners. Damaged or malfunctioning irrigation must be repaired or replaced to match the original system. Over-spray and excessive runoff shall be kept to a minimum.

## **IV. FENCING, LIGHTING AND SIGNAGE DESIGN**

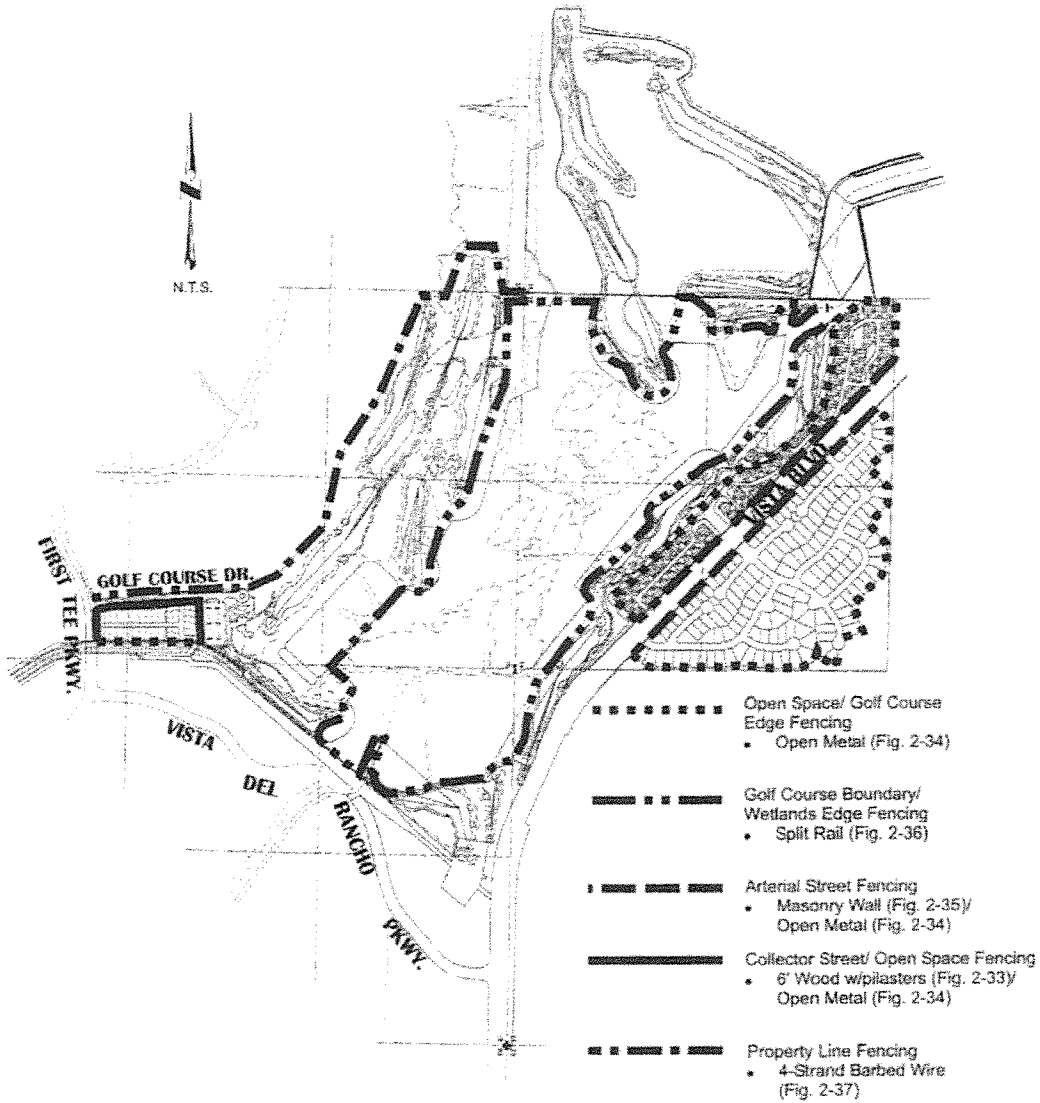
### **A. Screening and Fencing Design**

Fencing within the PD is intended to provide privacy and security and screen unsightly elements. To a significantly lesser extent they may be utilized to buffer land use boundaries, mitigate noise, and act as a barrier to entry in environmentally sensitive areas. Non-residential fencing is to be kept to a minimum to avoid blocking views or fragmenting land uses in the PD. All fencing material, color and texture shall be consistent with the overall project design theme and subject to approval by the Parcel Developer and the Administrator.

Mechanical and electrical equipment and other similar structures shall be ground-mounted when feasible. All noise generating mechanical devices shall be screened with noise reduction barriers so that their potential as a nuisance to abutting properties is minimized.

#### **1. Fencing**

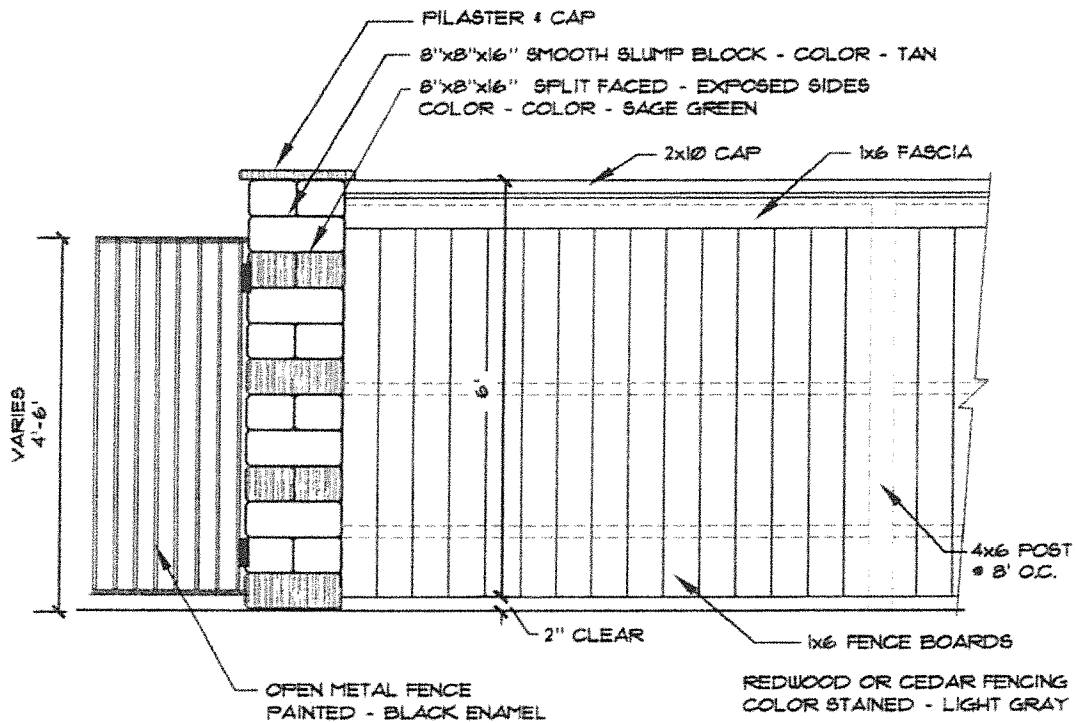
Seven types of fences shall be used throughout the PD in response to various conditions where ownership, privacy, security, safety, non-disturbance, and/or screening is required or desirable. (Refer to *Figure 2-32*)



**Figure 2-32**  
**Typical Fence Location Plan**

a. **Collector Street/Open Space Fencing**

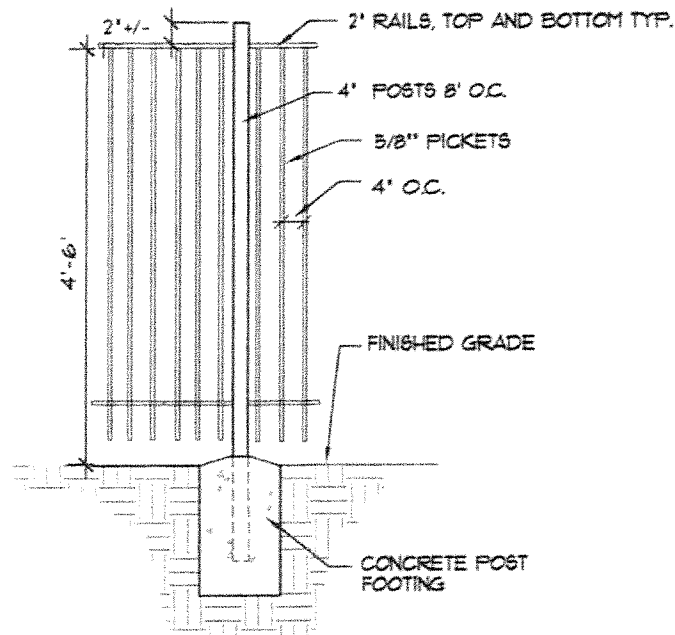
The first type is **Collector Street/Open Space** fencing. This fence shall be located at all residential rear and side yards abutting First Tee Parkway/Golf Course Road, collector streets, linear parks, pedestrian corridors, and open space. These fences shall be six foot (6') high wood privacy fencing accented with pilasters spaced at intersections of property lines and changes in direction and shall be constructed with adjacent development and maintained by the H.O.A. in common areas or a Landscape Maintenance District along the public right-of-way. (Refer to *Figure 2-33*)



**Figure 2-33**  
**Collector Street/Open Space Fencing**

b. Open Space Golf Course Edge Fencing

Open space golf course edge fencing by developed edges condition adjacent to open area said as golf course or common area around Development Parcel 3, shall use this open metal fencing. Refer to *Figure 2-34* for details.



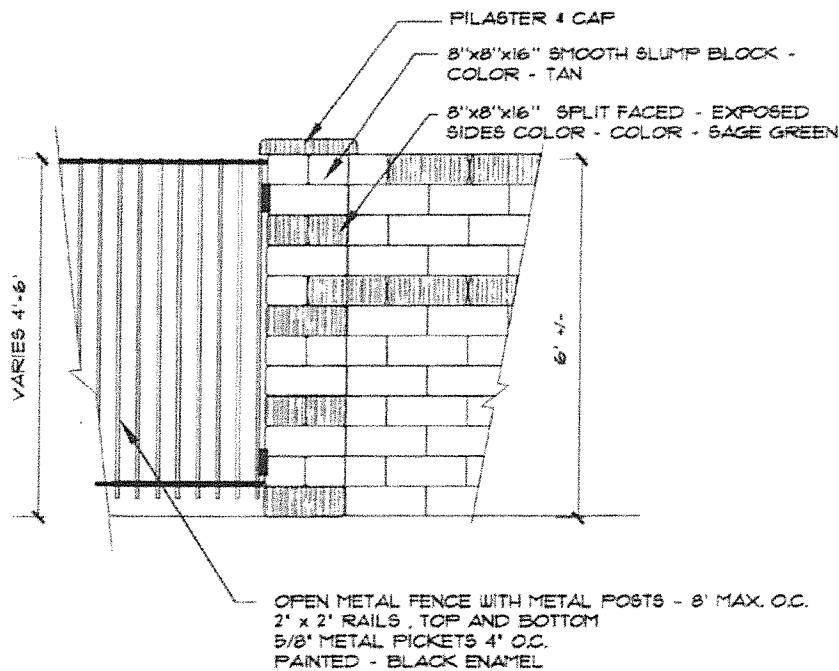
OPEN METAL FENCE WITH METAL POSTS - 8' MAX. O.C.  
2' x 2' RAILS, TOP AND BOTTOM  
5/8" METAL PICKETS 4' O.C.  
PAINTED - BLACK ENAMEL

**Figure 2-34**  
**Open Space / Golf Course Edge Fencing**

When lotting patterns adjacent to open space result in rear or side-on lots that can provide "eyes to the open space" an enhanced perception of safety may be achieved when a combination of Collector Street/Open Space fencing and Open fencing is utilized. Lots rear or side-on to open space will generally have Collector Street/Open Space fencing at side yards joined with open-type fencing along the edge of the rear or side-on yard areas. Open fencing shall be tubular steel, rail and pickets (Refer to *Figure 2-35*) allowing the surrounding landscape in both open space and private front yards to blend together. The Parcel Developer will select which option shall be used and applied uniformly throughout the development.

c. Arterial Street Fencing

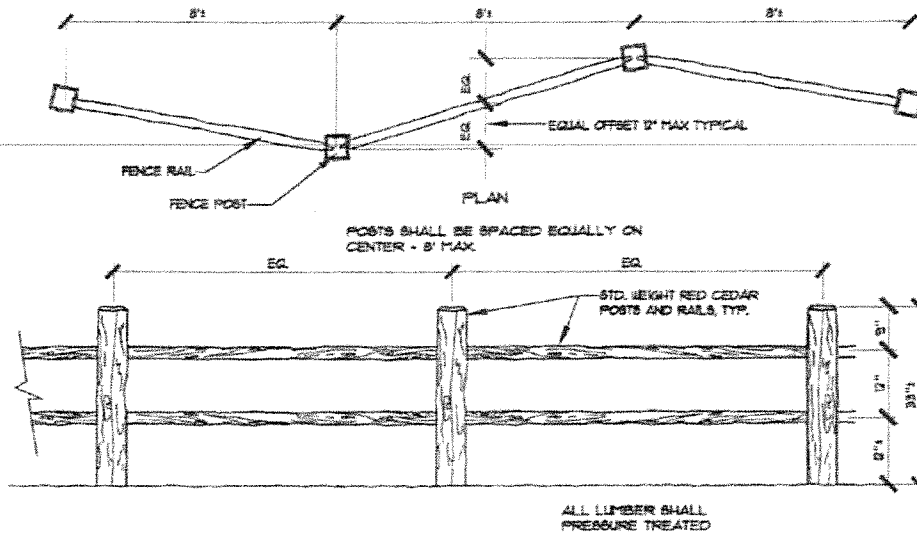
Vista Boulevard is a designated medium access arterial on the Regional Transportation Plan. Masonry walls for noise attenuation will be required in most cases along the arterial frontage of Parcel Three (3) and Four (4). **Figure 2-35** illustrates a typical 6-foot high masonry wall that will need to be built on both sides of Vista Boulevard. There are a couple of options that may be pursued. On the northwest side, adjacent to Parcel 4, the land plan and unit layout may allow for a combination of masonry walls with open view type fencing in areas where units are not adjacent to the road right-of-way. On the southeast side, reducing the height of the wall may be possible based on the vertical elevation change or separation between the rear yards of the houses and the pavement elevation of Vista Boulevard.



**Figure 2-35**  
**Arterial Street Fencing**

d. Golf Course Boundary/Wetland Edge Fencing

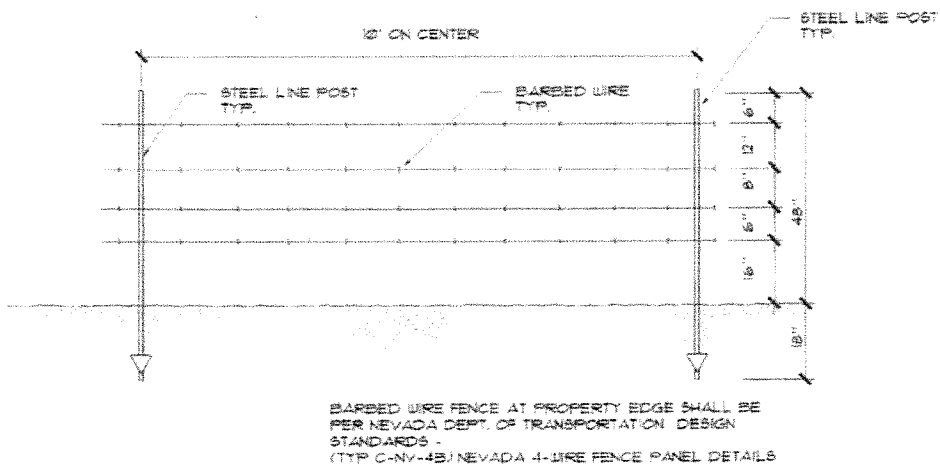
**Figure 2-36** illustrates a typical installation of split rail fence along the wetlands/golf course interface. This fencing is intended to mark the out of bounds for the golf course and limit casual access to the existing wetland. **Figure 2-30** illustrates how this edge will be graded to create a hydrological break between the existing wetlands and the course.



**Figure 2-36**  
**Golf Course/Wetlands Boundary Fencing**

**e. Property Line Fencing**

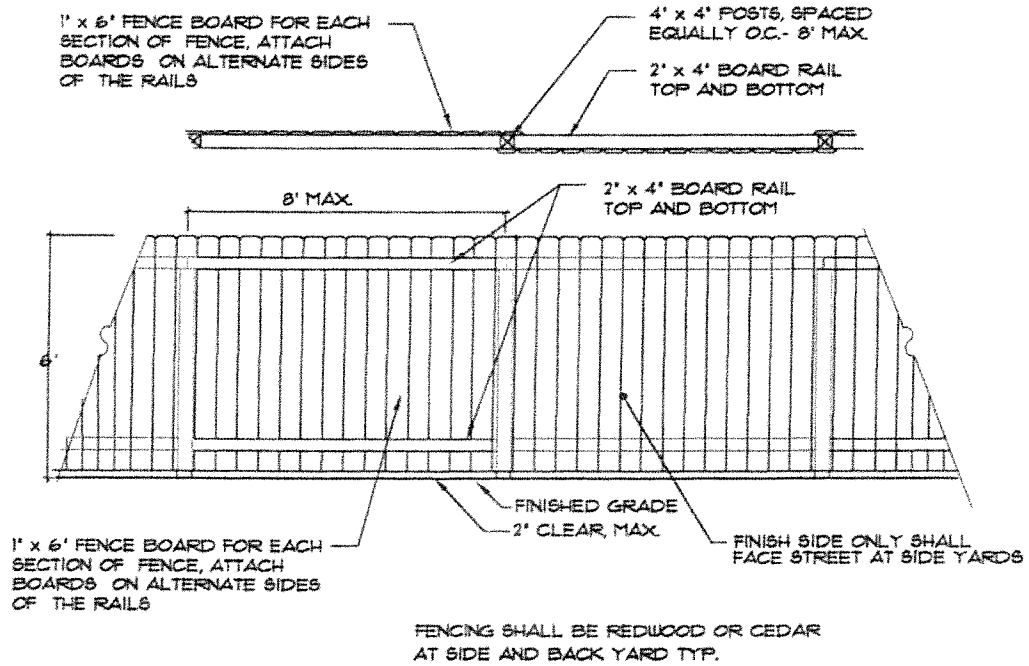
The primary purpose for the property line fencing is to keep the cattle on the ranch side (west side) of the fence. This is an interim configuration that will change to a permanent, open metal fencing and the regional trail link once development of residential begins to occur along this edge in the future. *Figure 2-37* illustrates a four (4) strand barb wire fence with posts 10 feet on center. This is a typical Nevada Department of Transportation (NDOT) construction standard.



**Figure 2-37**  
**Property Line Fence**

f. **Good Neighbor Fencing and Townhome Courtyard Fencing**

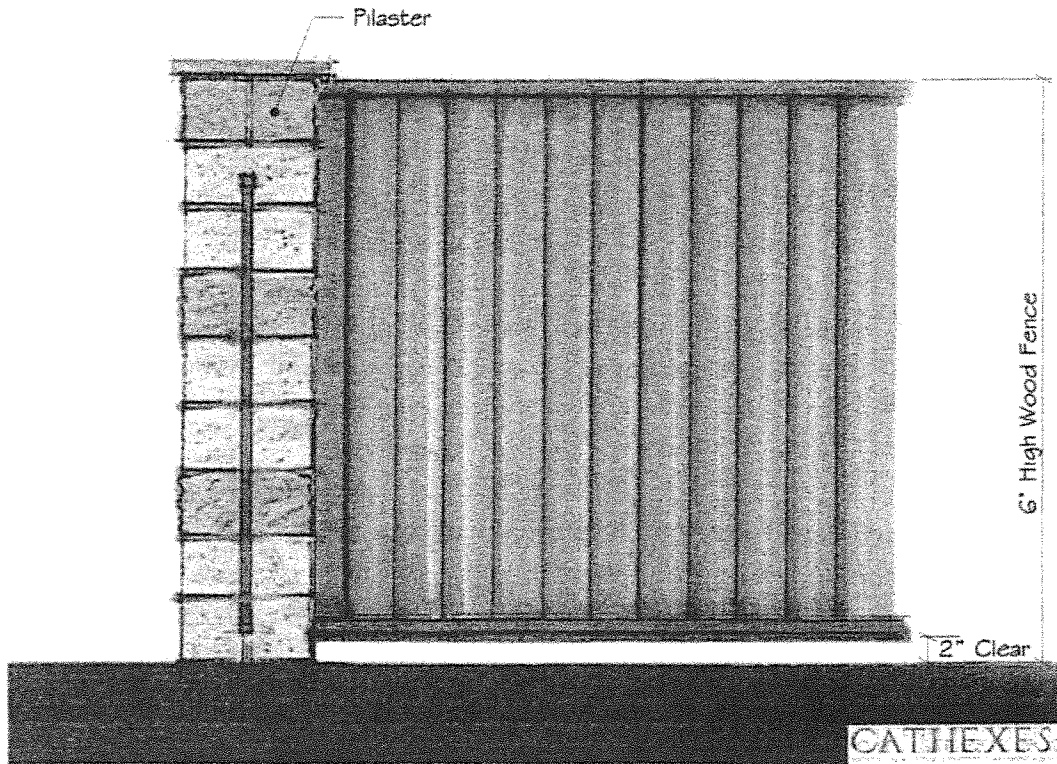
Another type of interior residential fencing is "Good Neighbor" fencing, a solid, six foot (6') high privacy fencing located on all common property lines of residential lots (rear and side yards). Good Neighbor fencing shall be of the same or similar wood construction as Collector Street/Open Space fencing but without pilasters. (Refer to *Figure 2-38a*)



**Figure 2-38a**  
**"GOOD NEIGHBOR" Fencing**



*Figure 2-38b* illustrates the type of fencing that shall be used within the courtyards of the Townhomes. This fence shall always be used along the common building envelope line and the front of the envelope on the private street side. It may be used in the rear, adjacent to high pedestrian traffic or visibility area. If the rear abuts open common area or the golf course, open metal fencing should be used. Refer to *Figure 2-38b*.



**Figure 2-38b**  
**Townhome Courtyard Fencing**

## **B. Lighting Design**

Exterior lighting is intended to promote safety and security. Lighting within the public right-of-way shall comply with City of Sparks standards. Cut-off style fixtures shall be used on streets, open spaces, common areas, and pedestrian corridors to minimize impacts of glare on neighboring residences. Fixtures shall be located at intervals that provide continuity of pedestrian illumination. Light standards shall be located to avoid shading by tree canopies and buildings. Low level lighting, such as bollards, shall be provided at important pedestrian nodes such as trail intersections or common areas.

Final Master Lighting Design Plans will be submitted to City staff for their approval with the conformance review prior to building permit(s) for Parcels 3, 4, and 5 and will thereafter be in the Appendix.

## **C. Signage**

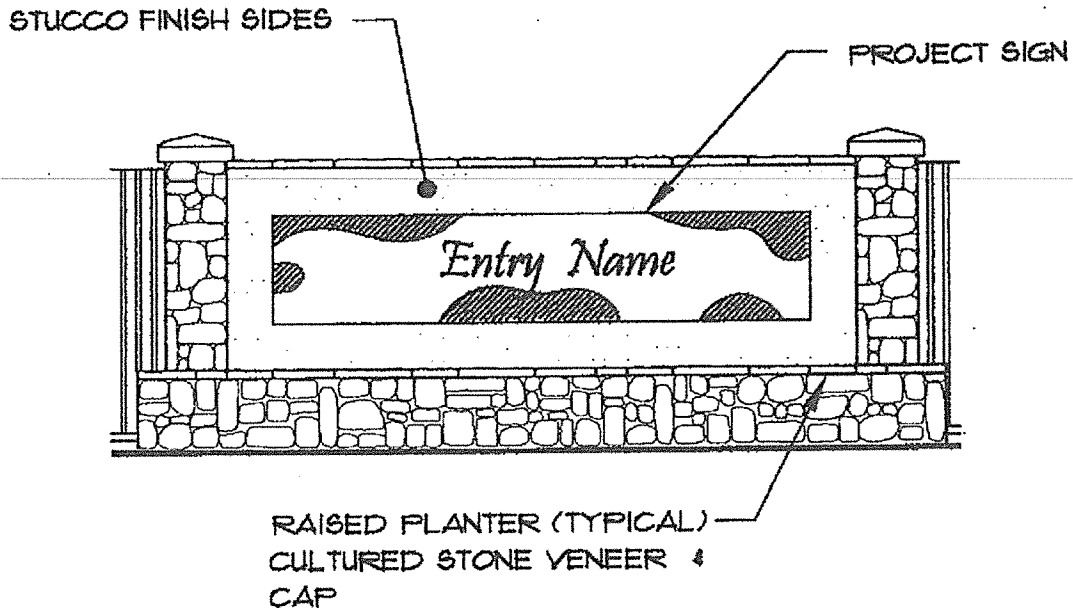
The intent of the sign program is to establish a recognizable hierarchy of entries and intersections. The signs will enhance the design elements of the PD and confirm the perceived order of the streetscape.

Four types of signs are proposed for the residential portion of the Kiley Ranch Northeast Golf Community development: project/neighborhood entries, parcel identification signs (free standing), directional/building identification, and temporary signs.

All signs within the development shall adhere to the City of Sparks Sign Ordinance 20.56.

Sign lighting shall be compatible with the street and neighborhood. Minimize impacts from glare and light beams to adjoining/surrounding properties.

All signs must be approved by the Master Developer, Kiley Ranch Owner, and obtain a sign permit from the City Code prior to installation. Signs may be located in the landscape easement, per safe sighting distances in the Title 20.56 for monument and freestanding signs, as defined in the City Code.



**Figure 2-39**  
**Entry Sign**

**1. Project and Neighborhood Entry Signs**

The Parcel Developer is responsible for the installation of project entry signs. Entry signs are subject to the issuance of a permit, as outlined in the City of Sparks Sign Code. These signs will be used to identify and establish the boundaries and formal entries of the project.

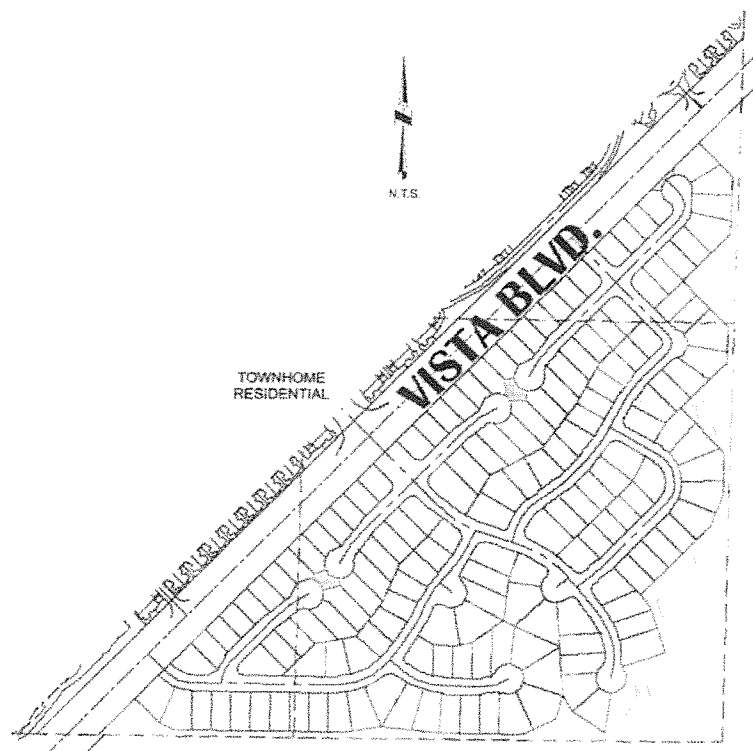
The primary project entries are located at Vista Boulevard and the main entry drive to Parcel 3 and 4. A secondary/residential project entry is located at First Tee Parkway and Development Parcel 5's main entry road. Project entry signage shall be limited to a maximum of two signage monuments per entry. A third entry will be for the golf course and located at or near the corner of First Tee Parkway and Golf Course Road.

A final Monument Design Plan for Kiley Ranch Northeast Golf Community will be submitted to the City staff for their approval prior to submittal of the first final map. Developers shall install neighborhood entries, designed pursuant to the Final Monument Plan, prior to issuance of the first Certificate of Occupancy for the project.

## V. RESIDENTIAL NEIGHBORHOOD DESIGN STANDARDS

### A. Development Parcel Three (3) – Single Family Detached Residential Development Plan, Design Standards, and Regulations

Development Parcel 3 will be standard single family detached residential. The minimum lot size is 6000 sq. ft. Setbacks and other design criteria can be found in the Design Standards and Regulations. The parcel is bordered on the northwest side by the existing Vista Boulevard, on the south side by BLM land and the east side by the expansion of Wingfield Springs. Refer to *Figure 2-40*.



**Figure 2-40**  
**Parcel 3**  
**Single Family**

#### 1. Parcel Specifications

Acreage	±44.0 acres
Proposed Master Plan Designation	Residential 4 D.U./Acre
Proposed Zoning	NUD – 2 year interim A-40 zoning
Proposed Land Use	Single Family
Proposed Dwelling Units	158
Common Open Space	6.9 Acres      16%
Acres in Lots	28.6 Acres      65%
Acres in Streets	8.5 Acres      19%

## 2. Design Concept

The street and lot layout is intended to maximize the view potential to the wetlands and golf course to the northwest. This orientation also allows the development to blend into the existing topography of the site.

## 3. Grading

The site will be graded to create as many view lots as possible. The architecture of the homes planned for this parcel are all single story, so views can be created over the rooftops of the units on the downhill street. The majority of the soils in this parcel are structural, with some fractured bedrock on the southern and eastern edges. Based on the preliminary grading plan, (refer to *Figure 2-41*) there will be approximately 70,000 cubic yards of additional fill material that can be used to provide structural fill for Parcel #4. Refer to appendix for full-scale grading plan and cross sections.

This site may be used as a borrow site for the Townhomes in Parcel 4. A grading permit for this borrow site will be allowed prior to development of this parcel, provided that all other grading permit requirements are met, including NPDES permit, submittal of reclamation bond, approval of erosion control plan and SWPPP.

Single Family Residential

Site Volume Table: Unadjusted

= Cut cu.yds	- Fill cu.yds	Net cu.yds	Method
-----------------	------------------	---------------	--------

Site: 21360-01

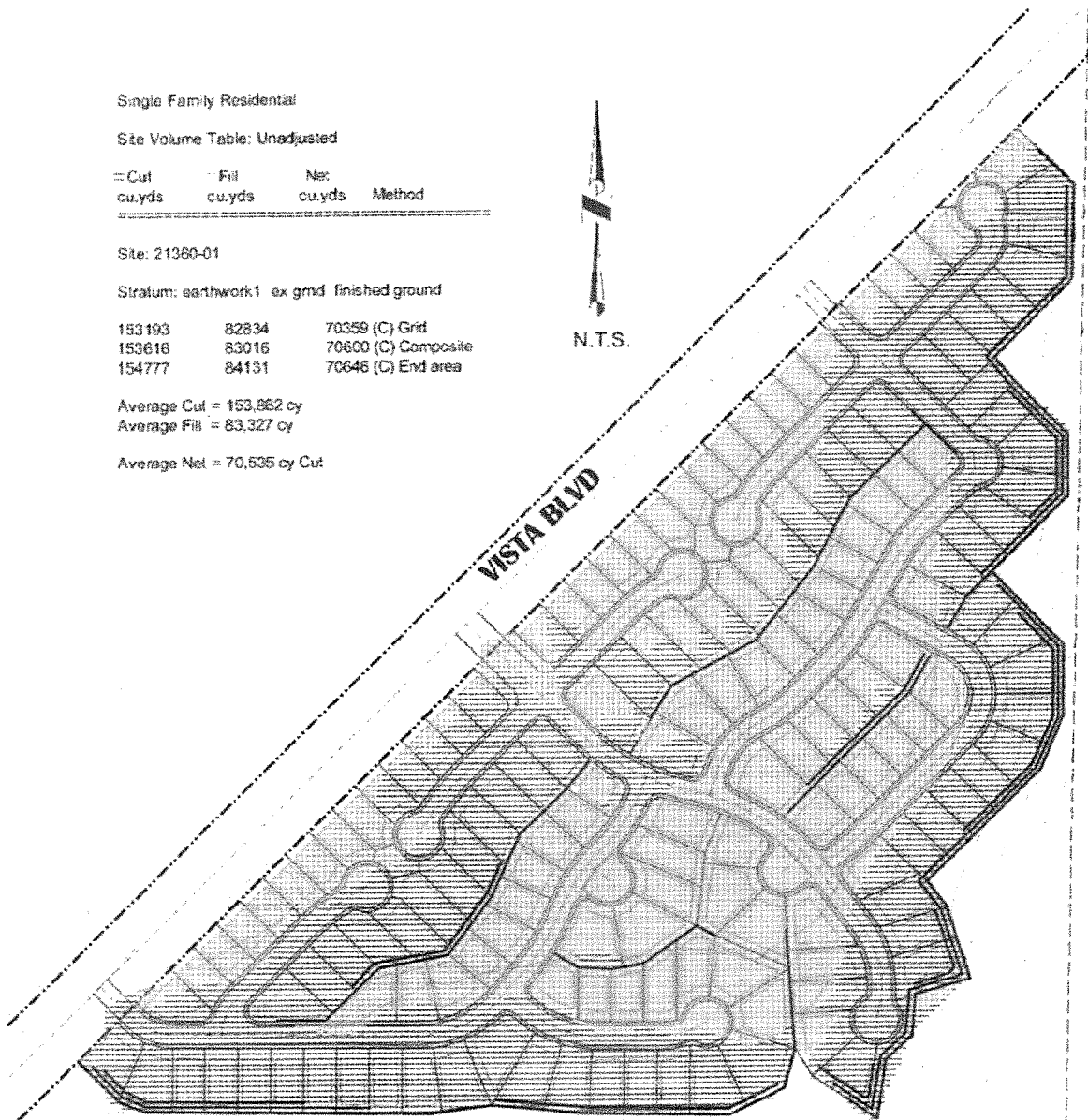
Stratum: earthwork1 ex grd finished ground

153193	82834	70359 (C) Grid
153616	83016	70660 (C) Composite
154777	84131	70646 (C) End area

Average Cut = 153,862 cy

Average Fill = 83,327 cy

Average Net = 70,535 cy Cut



**Figure 2-41**  
**Parcel 3**  
**Cut & Fill Analysis**

#### 4. Slope Analysis

We prepared a slope analysis for this parcel to determine if it triggered hillside development criteria. The analysis demonstrates that the parcel triggers hillside development criteria. The hillside development ordinance specifies that any project with slopes greater than 10% over 25% of the site area, triggers the ordinance requirement. Refer to *Figure 2-42* for specific analysis results.

The hillside development ordinance requires conformance with the following limitation on disturbed areas:

Slope Category	% of Site	Acres of Site	% Disturbance	Acres Disturbed
0 – 10%	70.9%	31.08	Unlimited	31.08
10.1 – 15%	12.8%	5.61	75%	4.21
15.1 – 20%	11.5%	5.02	67%	3.34
20.1 – 25%	4.9%	2.13	50%	1.07
25% or greater	0%	0.0	33%	0.0
<b>Total</b>		<b>43.84 Acres</b>		<b>39.70 Acres</b>

Based on the Final Development Plan for Parcel #3, there are approximately 6.92 acres of common open space, most of which is undisturbed. This calculates out to 36.92 acres of disturbed area, which is almost 3 acres less than the allowed amount under the hillside ordinance.

A Site Plan Review process through the City of Sparks shall be required in accordance with Title 20.99, Development on Hillside, Slopes and Ridges simultaneously with Conformance Review for this subdivision.

SLOPE ANALYSIS LEGEND					
Color	Range	Req.	Range End	Percent	Area
	0.00		10.00	70.9	1335523.53
	10.10		15.00	12.8	240669.36
	15.10		20.00	11.5	216180.03
*	20.10		25.00	4.9	91584.85
**	25.10		30.00	0.0	712.40
**	30.10		100.00	0.0	253.18

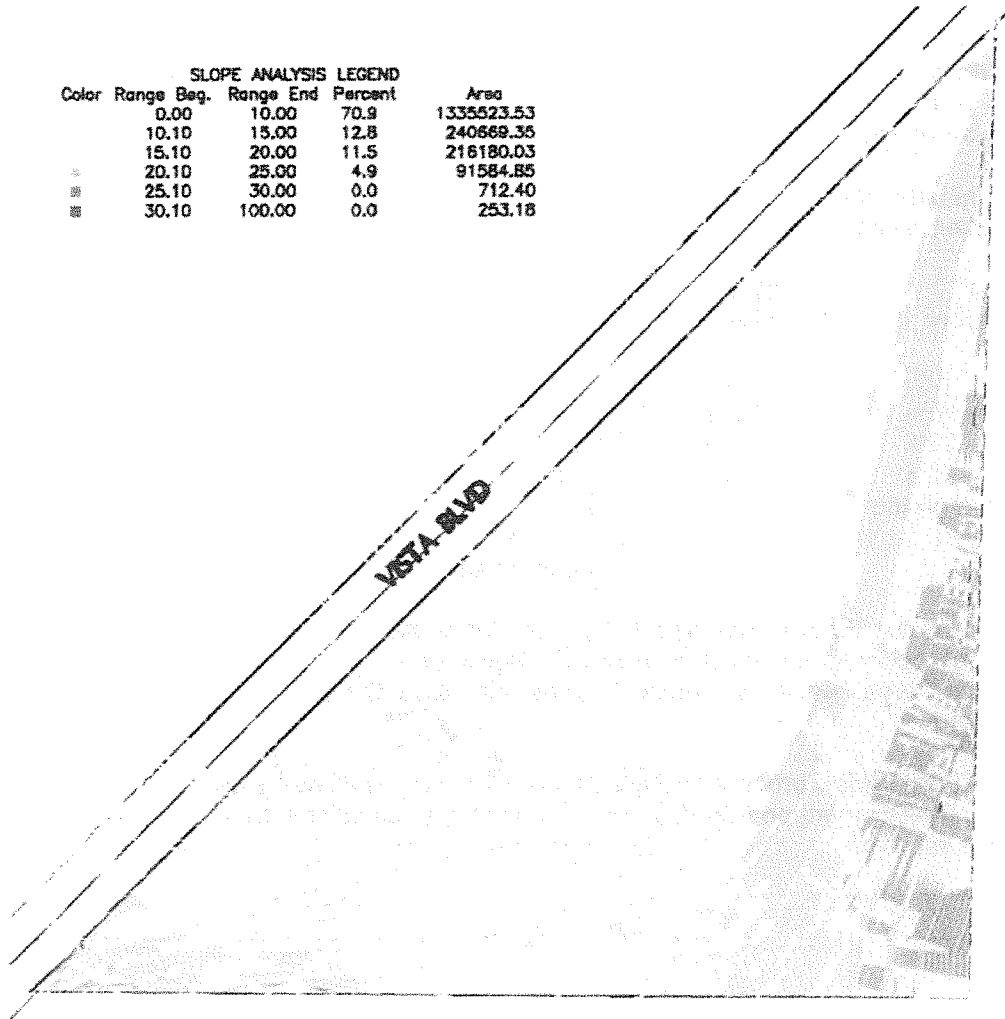


Figure 2-42  
Parcel 3  
Slope Analysis



## **5. Utility Connections**

### **a. Irrigation**

Reclaimed water may be used to irrigate the Vista Boulevard frontage and the common open space areas around the south and east sides of the parcel. Landscaping at the head of back-to-back cul-de-sacs will be irrigated with potable water provided by the H.O.A. and delivered by an irrigation system owned and maintained the H.O.A.

### **b. Sanitary sewer**

The Northeast trunk sewer exists on the west side of Vista Boulevard with 8" stubs out under the existing pavement to serve this parcel.

### **c. Water**

Potable water service will come from the 24" water main on the east side of Vista Boulevard with 10" stub extensions constructed to serve this parcel. This parcel is not currently in the Truckee Meadows Water Authority service territory as annexation will be needed.

### **d. Gas, electric, telephone, and cable**

Service will come from facilities constructed on the west side of Vista Boulevard. Extensions of electric, phone and cable may require pavement cuts in the existing Vista Boulevard, if they were not constructed with the street improvements. Refer to *Figure 2-43* for preliminary utility locations within the proposed subdivision.

## **6. Access & Circulation**

The primary access to Parcel 3 will be from Vista Boulevard. This main access, across Vista from the Parcel 4 entry, will likely be a signalized intersection, if traffic warrants are met. It is spaced to meet the quarter mile spacing requirements of a medium access control arterial. There are two other secondary access points on Vista Boulevard, primarily for secondary and emergency vehicle access. These secondary access points will consist of right-in, right-out and left-in only turning movements and comply with current RTC access management standards. The internal streets are local public streets, meeting the City of Sparks design requirements for this type of roadway. (refer to Design Standards and Regulations)

### **a. Local Roads**

The roadway design concept is to follow the natural topography and maximize the views to the northwest to the golf course and wetlands area. All internal roadways will be public streets, built to City of Sparks standards.

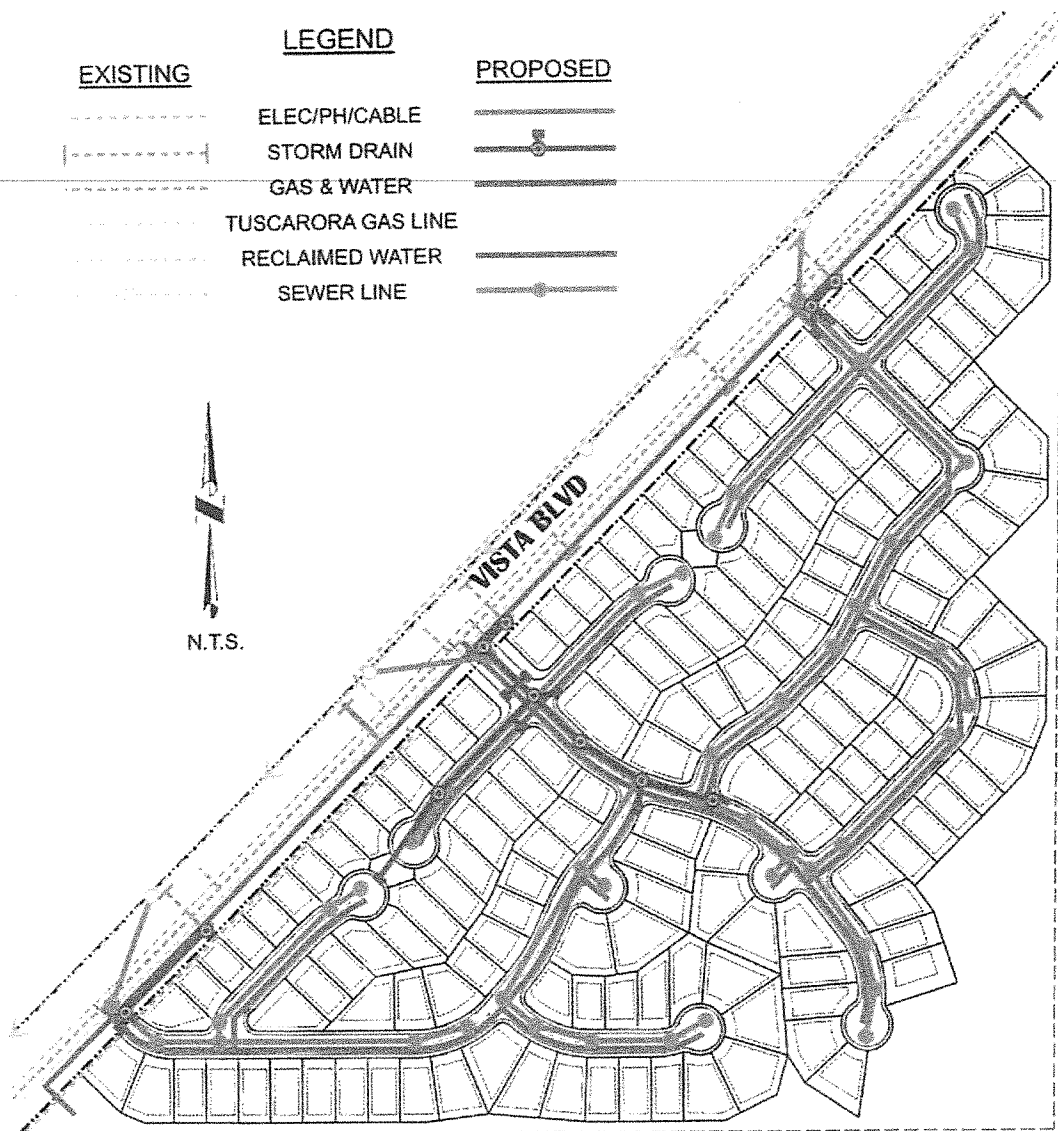
### **b. Vista Boulevard**

At the time the third phase of construction starts on Parcel 3, or prior to final mapping the 110<sup>th</sup> lot, the widening of Vista Boulevard to 4 lanes will occur. This will include construction of median curb, both east and west bound, two eastbound lanes with a 5-foot emergency lane, curb and gutter, 5 foot sidewalk and drainage facilities. This widening would include

landscaping in the median and the 25 foot landscape setback along the south side. Refer to the Design Standards and Regulations section for details.

**c. Open Space**

The open space will be constructed with the phase of the subdivision being constructed. The project entry and landscaping along Vista Boulevard shall be constructed with each adjacent phase including buffer wall. The asphalt trail, retaining walls and other amenities shall be constructed with the phase they are located in. The open space will be maintained by the Homeowners Association



**Figure 2-43**  
**Parcel 3**  
**Utility Plan**

## **7. Setback Requirements**

### **a. Front Yard Setback (see Summary in Table 2-11)**

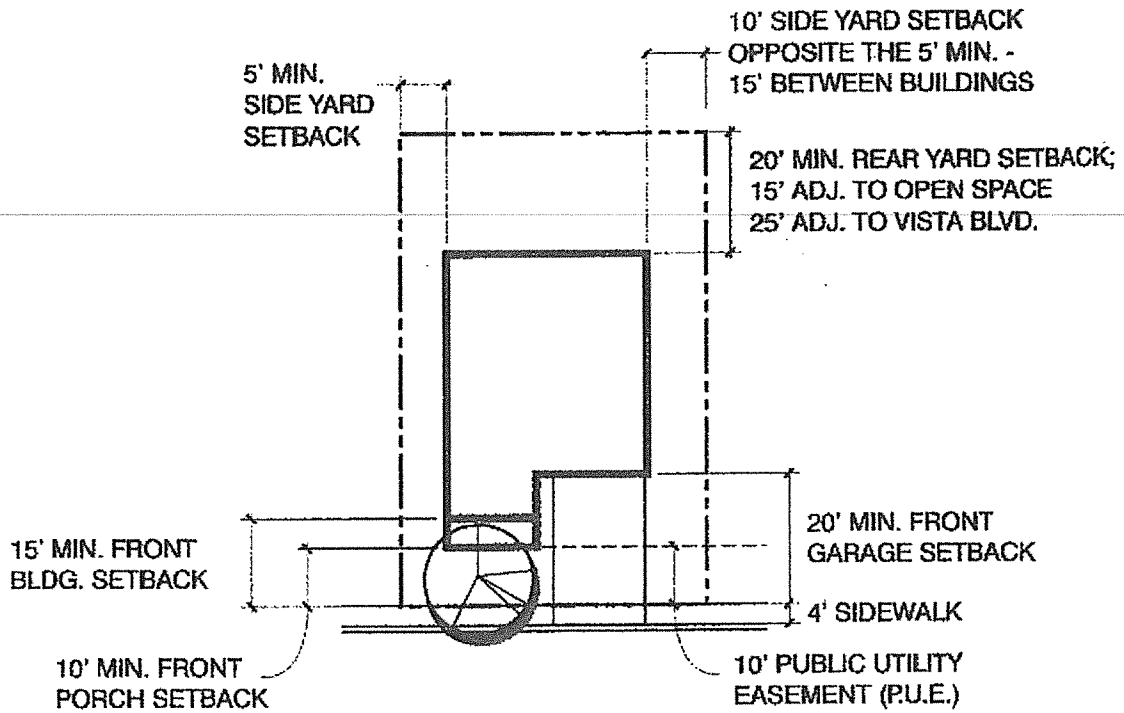
The minimum front yard setback to the residence will be 15 feet measured from the front property line. Lot size shall range between a minimum of 6,000 sq. ft. and 10,000 sq. ft. The garage shall be set back a minimum of 20 feet from the front property line and the porch may be 10 feet from the front property line. (Refer to Figure 2-44). Side-loaded garages may be 15 feet from the front property line. (Refer to Figure 2-45)

### **b. Variable Front Yard Setbacks**

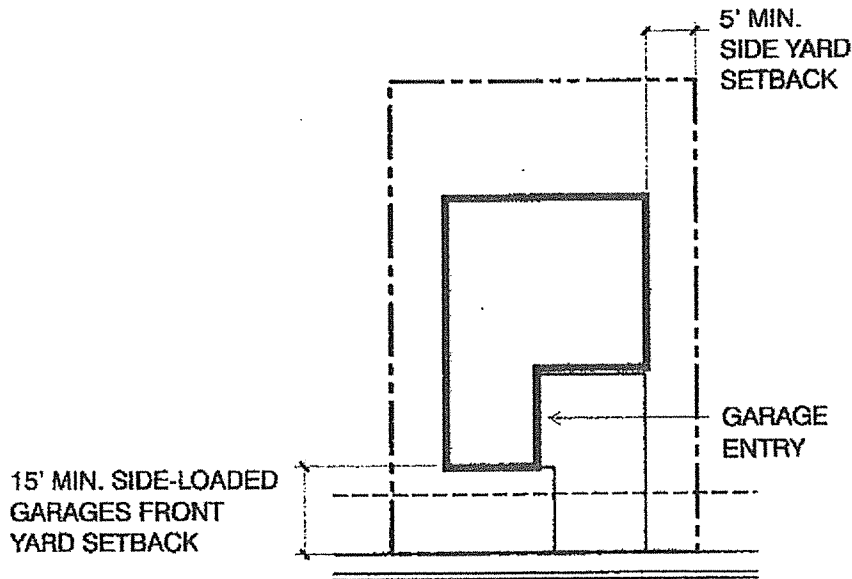
Where the center line of the street does not vary from a straight line by more than 5 feet in 300 feet of the houses fronting along the street shall be staggered such that the front setback or building facades of any two contiguous dwellings shall vary by not less than 2 feet along the straight stretch of street. The intent is to avoid the appearance of a solid wall of building fronts, particularly garage doors, along the street frontage.

### **c. Rear Yard Setbacks (see Summary in Table 2-11)**

No building may be closer than 20 feet to the rear property line except that accessory buildings may be located up to 5 feet from the rear yard property line and must be 10 feet minimum from the main building, with a maximum square footage of 120 sq. ft. Where lots are irregular, as in most cul-de-sac lots, the building setbacks shall be an average 20 feet from the rear property line. Where adjacent to open space, the rear setback for buildings may be reduced to 15 feet. When abutting major arterial streets, such as Vista Boulevard, the rear yard setbacks of buildings will be a minimum of 25 feet.



**Figure 2-44**  
**Typical Lot Configuration**



**Figure 2-45**  
**Side-Loaded Garage Setback**

**d. Side Yard Setbacks (see Summary in Table 2-11)**

The minimum side yard setback shall be five feet (5.0') with an aggregate side yard setback of fifteen feet (15') between buildings.

**e. Architectural Projections**

Architectural projections such as fireplaces, box-outs, media niches porches, etc., shall not exceed 12 feet in length and are permitted to extend up to 2 feet into the rear and side yard setbacks.

**f. Usable Open Space (see Summary in Table 2-11)**

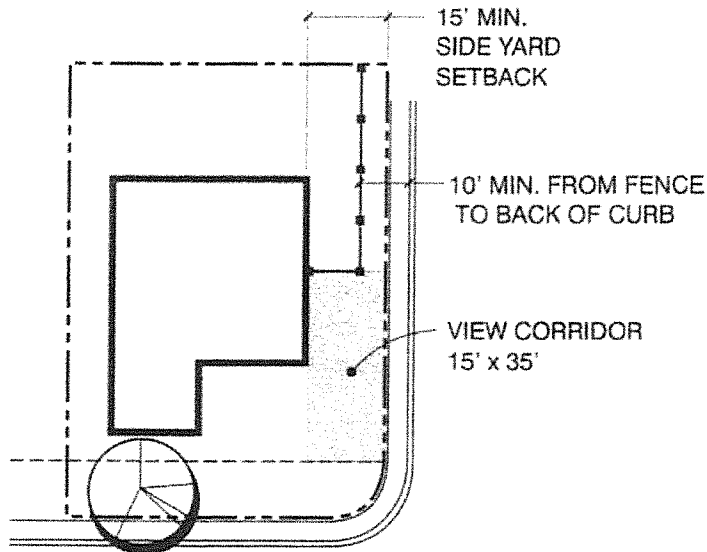
Minimum usable rear yard open space shall be 400 square feet for a two-bedroom residence and an additional 200 square feet for each additional bedroom.

**g. Shade Structures**

Shade structures shall have a minimum 5-foot setback from side and rear property line and shall not exceed 25% of the usable private open space. Under no circumstances shall any Shade Structures or portions thereof, be permitted within front yard setbacks.

**h. Corner Lot Side Yard Setback**

The minimum side yard adjacent to a street shall be 15 feet from the property line. Fences may be located 10 feet from the back of curb. No structure or fence shall be allowed in the view corridor formed by a rectangle that is 15 feet wide and 35 feet deep measured from the back of curb. (Refer to *Figure 2-46*)



**Figure 2-46**  
**Corner Lot Side Yard Setback**

**Table 2-11  
Neighborhood Minimum Building Setback Requirements**

<u>TYPE</u>	<u>FEET</u>	<u>CONDITION</u>
<b>Front Setback</b>	10	To porch
	15	To residence
	20	To garage
<b>Rear Setback</b>	20	Standard Lot
	15	At rear corners of single story residences on irregular lots with average 20-foot setback across back yard with square footage equal to standard lot
	15	Adjacent to Open Space
	15	Uncovered second story decks and covered single story decks attached to main structure
<b>Side-Yard Setback</b>	25	Residences backing onto Vista Boulevard
	5	5' minimum; 15' separation between adjacent main structure may be 7.5, or any combination of dimensions equal to 15' between houses.
	15	Corner lots where side yard is adjacent to public streets
<b>Shade Structures Common Area Equipment</b>	5	Minimum setback from property line, all sides and rear. Not allowed within front yard setbacks
		No Minimum setback (include benches, play equipment, etc.)

**8. Garage Width**

If the garage front is projecting in front of the living area, the garage width shall not exceed 60% of the total building frontage.

**9. Sectional Overhead Garage Doors**

Sectional overhead doors shall be required on all garages.

**10. Covered Porches (not including shade structures)**

Covered porches if provided are required on the front or side of dwellings per the approved architectural elevations. Porches shall be a minimum of 4 feet deep and be set back a minimum of 10 feet from the front property line, and maintain the required side yard setback.

**11. Building Height**

Maximum building height shall be 2 stories and 30 feet maximum height per City of Sparks Ordinance 20.37.

**12. Parking Requirements**

Per City of Sparks Parking Ordinance 20.49.

**13. Plan Conformance**

Submitted plans for all developments shall comply with the Uniform Building Codes and all City of Sparks ordinances in effect. Prior to issuance of any building permit for the homes, the master plans for each model of home shall be reviewed and approved by the City of Sparks.

The Parcel Developer shall provide specific plot plans that are wet-stamp by a Nevada Registered Engineer for each individual lot on an 8 1/2 x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to issuing building permits.

**14. Interior Roadway Design Requirements - Standard Developments**

*Table 2-12 (below) and Figure 2-6 ("Streetscape" elsewhere in this guideline document)* outline the specific standards established for all interior neighborhood streets throughout Development Parcel Three (3) of the PD.

**Table 2-12**  
***Interior Local Standard Neighborhood Roadway Designs***

<u>TYPE</u>	<u>DIMENSIONS</u>	<u>CONDITION</u>
Local Standard <i>(Ref Fig. 8-19)</i>	50' ROW	Standard local residential street – sidewalks both sides
Cul-de-sacs	98' ROW	Standard cul-de-sacs, typical all conditions with sidewalks



## 15. Landscape Design and Installation Requirements

### a. Front Yard Landscaping Requirements

Parcel Developers shall be responsible for installation of front yard landscaping on all homes at time of construction. Front yard landscaping shall be completed prior to certificates of occupancy. This landscaping shall include turf lawn (maximum 70% coverage), shrubs, and living ground cover (minimum of 30% coverage). One 2" caliper street tree shall be provided per residence on standard lots, with two additional 2" caliper street trees at side yard for all corner lots pursuant to *Part V.B.2 "Street Tree Concept"* elsewhere in these standards. Plant materials shall be appropriate to climatic conditions of the Sparks area and selected based upon recommendations of a horticultural soils suitability test and report pursuant to *Part V.C.1 "Plant Selection"* elsewhere in these guidelines. Additionally, all front yard landscaping shall include an irrigation system designed to irrigate all plant material and conserve water. Front yard landscape and irrigation plans must be submitted to the Master Developer and Kiley Ranch Owner for approval prior to application to the City of Sparks for building permits.

### b. Other Landscaping Requirements

In addition to front yard landscaping, each Parcel Developer shall be required to install landscaping, including irrigation and drainage, at the entrance of their respective neighborhood(s) and within all open space in their parcel. The HOA or lighting and landscape maintenance district shall assume maintenance responsibility for all neighborhood entry and open space landscaping following completion of installation, inspection, and approval by the City of Sparks, and expiration of the one (1) year (minimum) contractor's guarantee period related to said improvements.

The Master Developer retains the option to design and/or install any portion or all of the common area landscaping that will be maintained by the HOA. If the Master Developer exercises this option on behalf of the Parcel Developer, that Parcel Developer shall be required to reimburse the Master Developer for all costs associated with such design and/or installation.

The Master Developer shall retain responsibility to ensure installation of landscaping for neighborhood entrances and open space areas are consistent with the intent and material requirements of the Design Standards throughout the PD. The Master Developer and Kiley Ranch Owner shall review and approve all landscaping and irrigation plans by the Parcel Developer prior to submittal and approval by the City of Sparks.

## 16. Fencing Design and Installation Requirements

### a. Residential Fencing

At the time of home construction, all Parcel Developers shall be required to install fencing enclosing the entire back yard for each residence. All fencing abutting or seen from the local streets and/or open space shall conform to a pre-defined design uniform throughout the PD, including open-style fencing. All fence design standards and requirements shall be pursuant to *Part IV "FENCING, LIGHTING, AND SIGNAGE DESIGN"* elsewhere in these guidelines.

All Parcel Developers will be responsible to install the perimeter fencing surrounding their respective village. When one Parcel Developer's neighborhood boundary is contiguous with the back property line or phase line of residential lots within a neighborhood of another Parcel

Developer (therefore, not seen by the public), the Parcel Developers of each contiguous neighborhood shall be responsible for coordinating installation of a wood fence acceptable to both Parcel Developers. Should a dispute arise between Parcel Developers with respect to the design and/or cost of such fencing, the Master Developer shall dictate the fencing to be utilized with the approval of the City of Sparks.

**b. Common Area Fencing**

The Master Developer shall retain the option to install all or part of common area fencing visible to the public. In the event the Master Developer elects to install such common area fencing on behalf of a Parcel Developer, that Parcel Developer will be required to reimburse the Master Developer for the cost of such installation.

The Master Developer shall retain responsibility to ensure all fencing is consistent with the intent and material requirements of the Design Standards throughout the PD. All fence design standards and requirements shall be pursuant to *Part IV "FENCING, LIGHTING, AND SIGNAGE DESIGN"* elsewhere in these guidelines. The Master Developer shall review and approve all fence permits prior to submittal to the City.

**17. Residential Architectural Design Standards**

**a. Roofing Materials**

All homes within the PD shall be constructed with clay tile, concrete tile, slate or metal roofing materials. No asphalt style shingle roofing materials will be used within the PD without the prior written approval of the Master Developer and the Administrator. If asphalt roofing is allowed only Elk 40-Year Prestique architectural definition composition roofing material or equal shall be allowed. (Refer to *Figure 2-47 through 2-59 for Architectural Elevation Concepts*)

**b. Exterior Siding Materials**

All homes within the PD will be constructed with high quality siding materials. Stucco, Masonite, shiplap wood siding, hardboard or composite siding, rock, stone accents, and brick are all acceptable siding materials. T-111 or other plywood style sidings are not acceptable. The Master Developer shall maintain an acceptable sidings material list that may change from time to time at the discretion of the Master Developer and the Administrator. Any variance from the established siding materials list must be approved in writing by the Master Developer and the Administrator. (Refer to *Figure 2-47 through 2-59 for Architectural Elevation Concepts*)

**c. Side and Rear Elevation Materials**

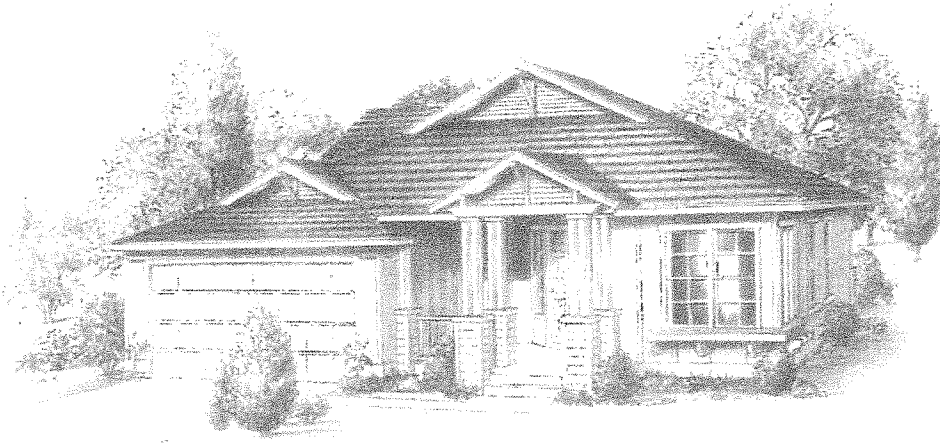
At a minimum, front, side and rear elevations shall have door and window trim a minimum of 4" in face width. (Refer to *Figure 2-47 through 2-59 for Architectural Elevation Concepts*) All front elevation accent materials shall be wrapped around the side elevation a minimum of two (2) feet or to a logical break point.

**18. Architectural Design Review and Approval**

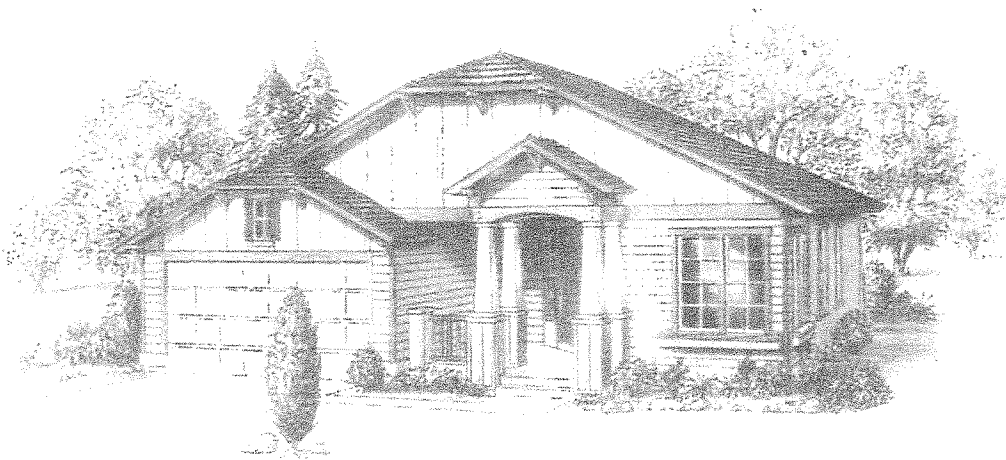
To maintain the quality and integrity of the PD design concepts, the Master Developer has established a requirement that all Parcel Developers submit plans and elevations of their proposed residential architecture to the HOA Architectural Review Committee (initially the

proposed residential architecture to the HOA Architectural Review Committee (initially the Master Developer). Each Parcel Developer not associated with the Master Developer will be required to submit the following for architectural review: (1) residential floor plans; (2) elevations (front, sides, and rear); (3) exterior siding materials list and color palette; (4) fencing plans; (5) front yard landscape plans or illustrations; and (6) common area landscaping plans within the Parcel Developer's neighborhood.

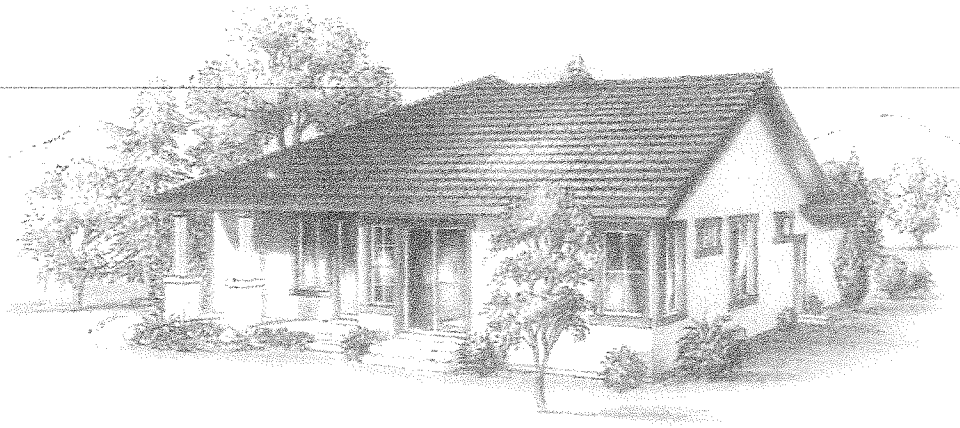
Unless otherwise agreed, the Architectural Review Committee (initially the Master Developer) shall have up to 15 working days to approve the design of residential homes or to notify the Parcel Developer of any deficiencies in their submission or design. The 15-day review period shall commence upon full submission of the required architectural package by the Parcel Developer to the Architectural Review Committee (or Master Developer). The Architectural Review Committee shall issue all approvals or notification of deficiencies in design or submittal in writing. Once approved, a Kiley Ranch Design checklist shall be signed and submitted to the City of Sparks with the approved plans for the City's review and approval.



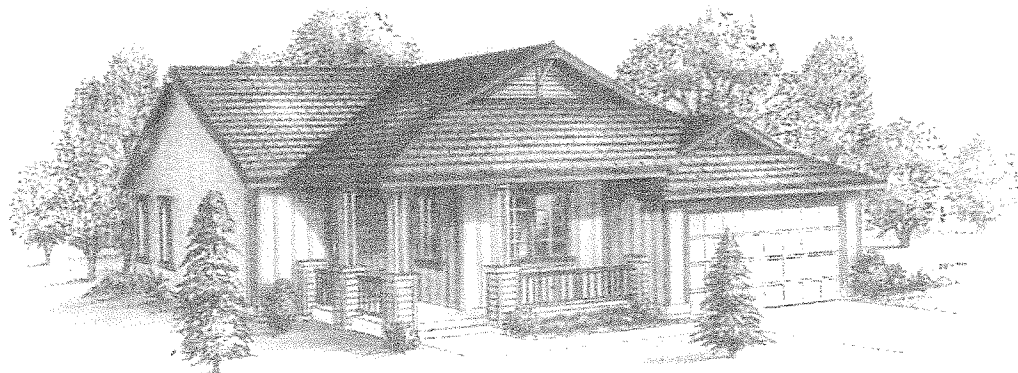
**Figure 2-47**  
**Parcel 3**  
**Single Family Front 1a**



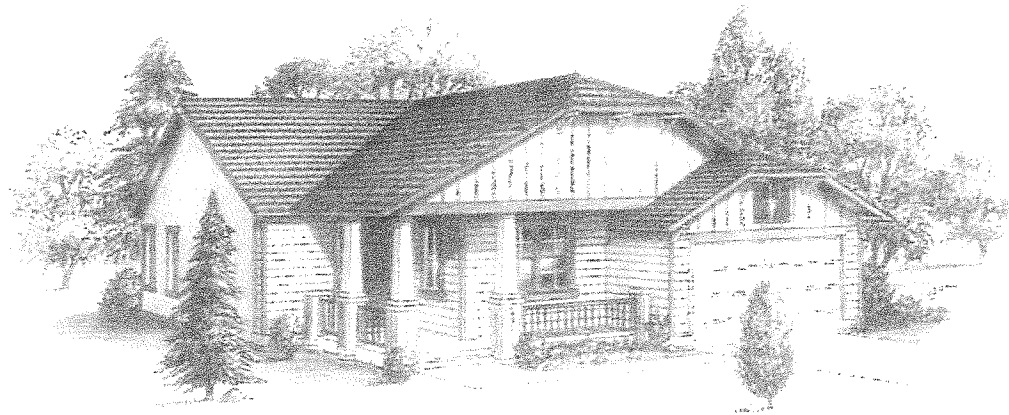
**Figure 2-48**  
**Parcel 3**  
**Single Family Front 1c**



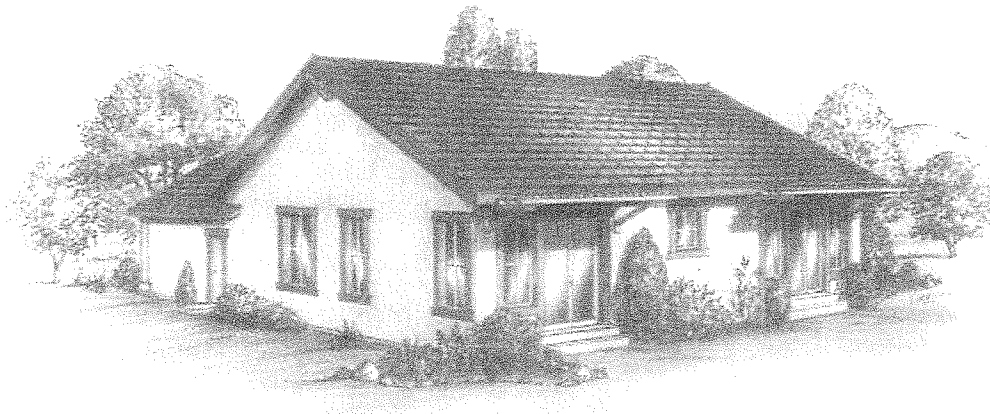
**Figure 2-49**  
**Parcel 3**  
**Single Family Rear 1b**



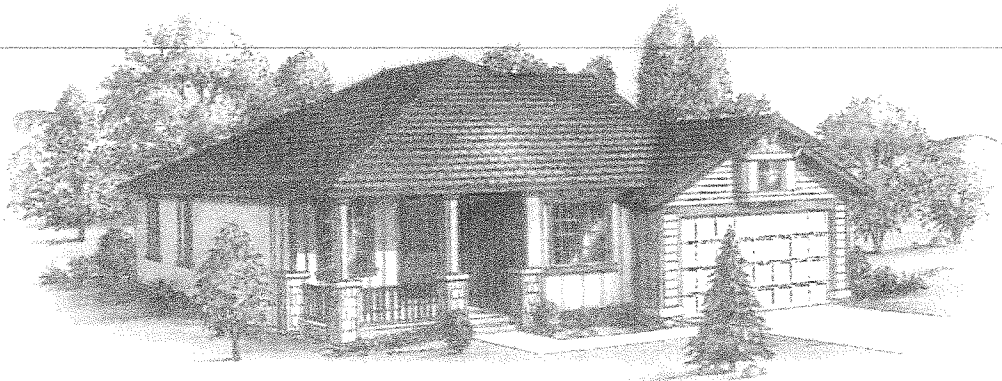
**Figure 2-50**  
**Parcel 3**  
**Single Family Front 2a**



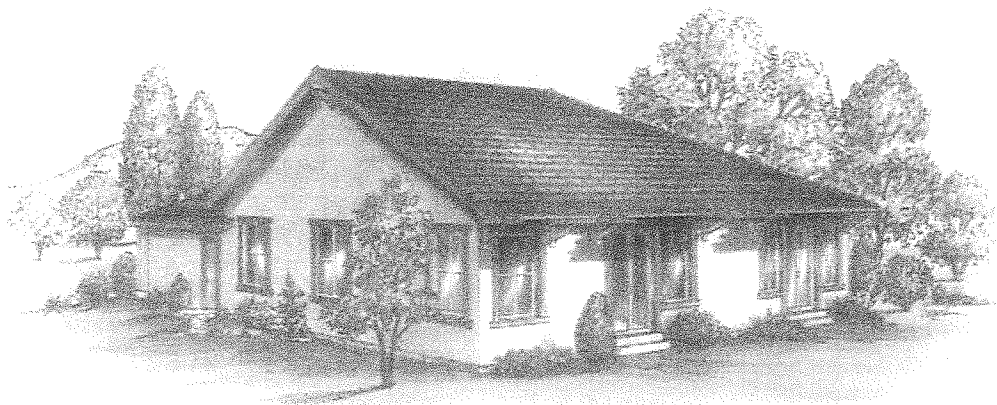
**Figure 2-51**  
**Parcel 3**  
**Single Family Front 2c**



**Figure 2-52**  
**Parcel 3**  
**Single Family Rear 2b**



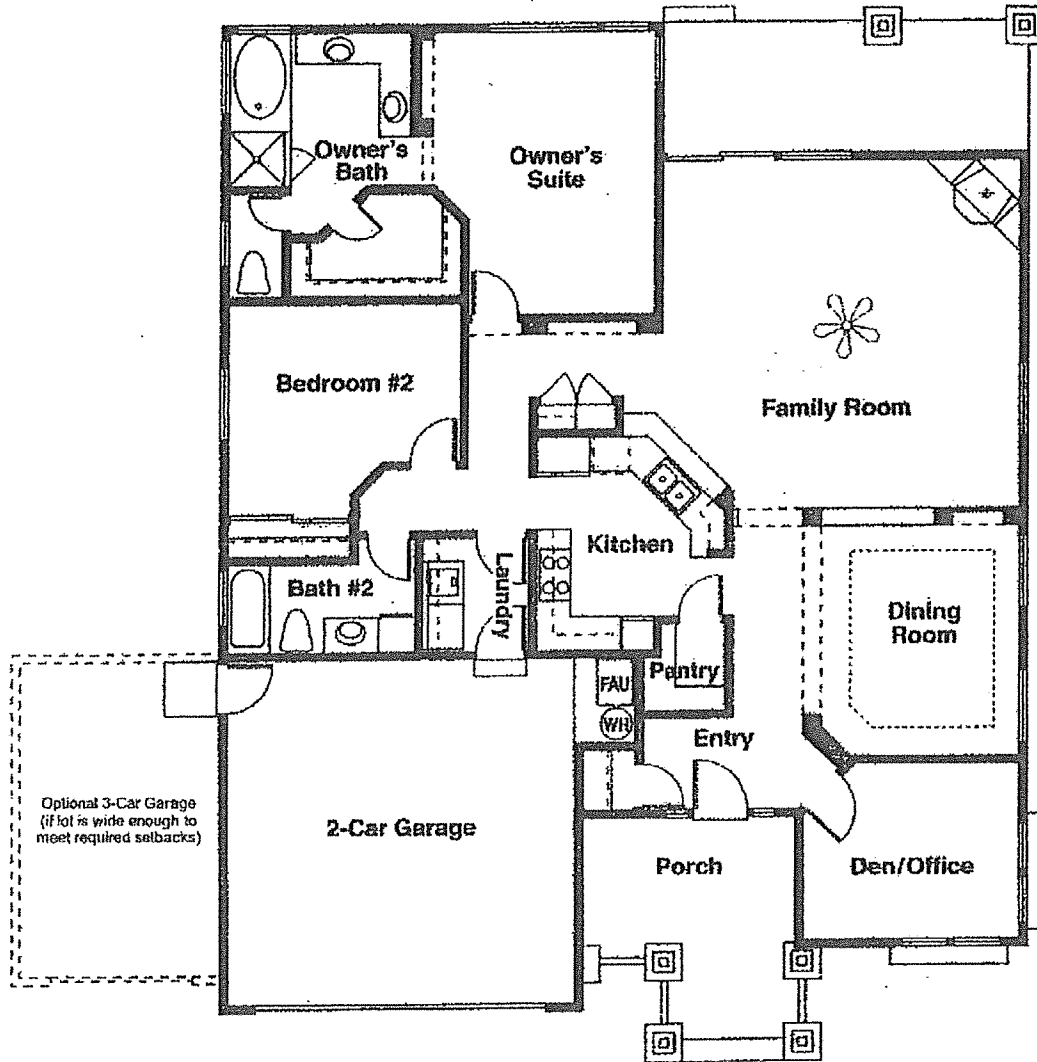
**Figure 2-53**  
**Parcel 3**  
**Single Family Front 3b**



**Figure 2-54**  
**Parcel 3**  
**Single Family Rear 3a**

# The Jasmine RESIDENCE ONE

Approx. 1724 s.f. • One Story • 2 Bedrooms with Office • 2 Baths • Optional 3-Car Garage



**Figure 2-55**  
**Parcel 3**  
**Single Family Floor Plan 1**



# The Nandina RESIDENCE TWO

Approx. 1948 s.f. • One Story • 3 or 4 Bedrooms with Optional Office • 2 Baths • Optional 3-Car Garage

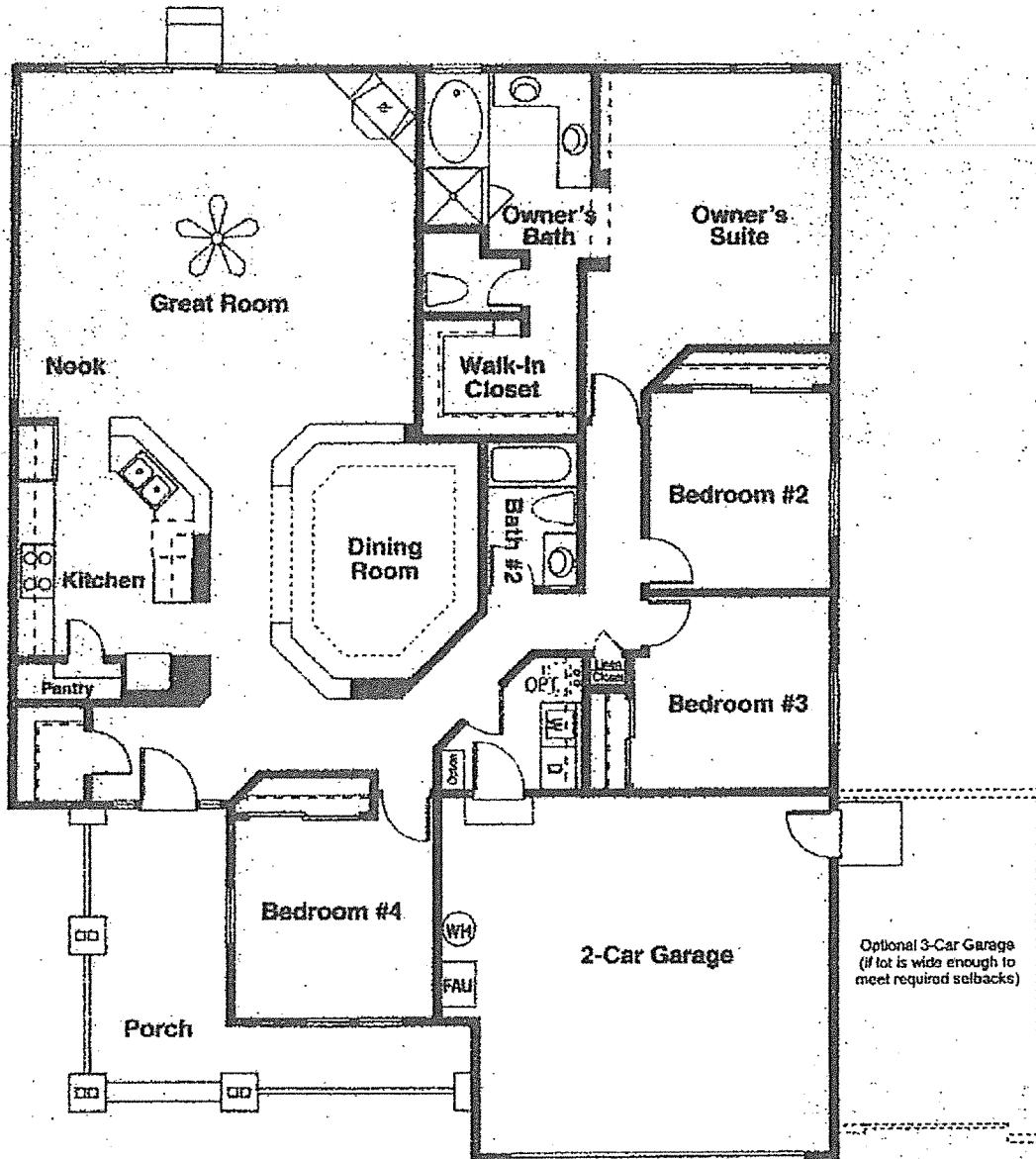
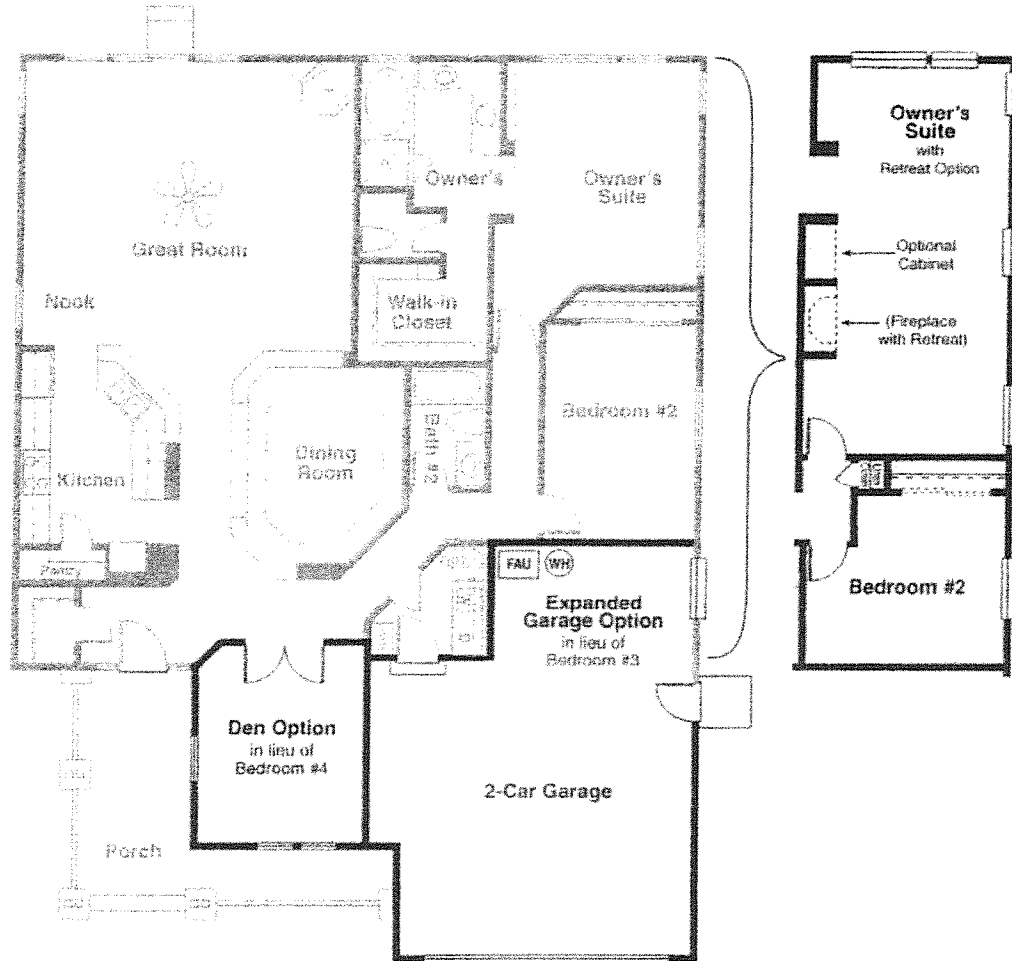


Figure 2-56  
Parcel 3  
Single Family Floor Plan 2

*The Nandina* RESIDENCE TWO

Room and Garage Options



**Figure 2-57**  
**Parcel 3**  
**Single Family Floor Plan 2 (optional)**

# The Camellia RESIDENCE THREE

Approx. 2082 s.f. • One Story • 3 or 4 Bedrooms with Optional Office & Owner's Suite Retreat • 2.5 Baths • Optional 3-Car Garage

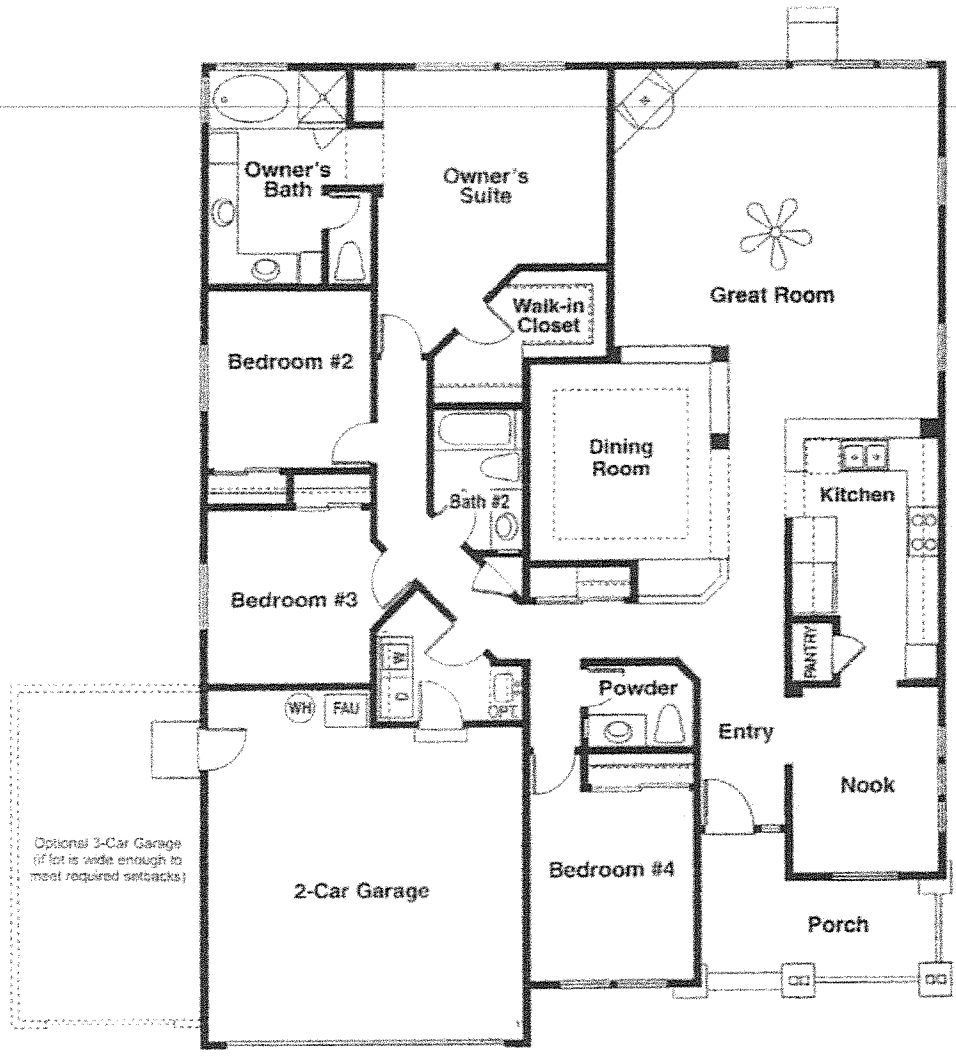


Figure 2-58  
Parcel 3  
Single Family Floor Plan 3

# The Camellia RESIDENCE THREE

Room and Garage Options

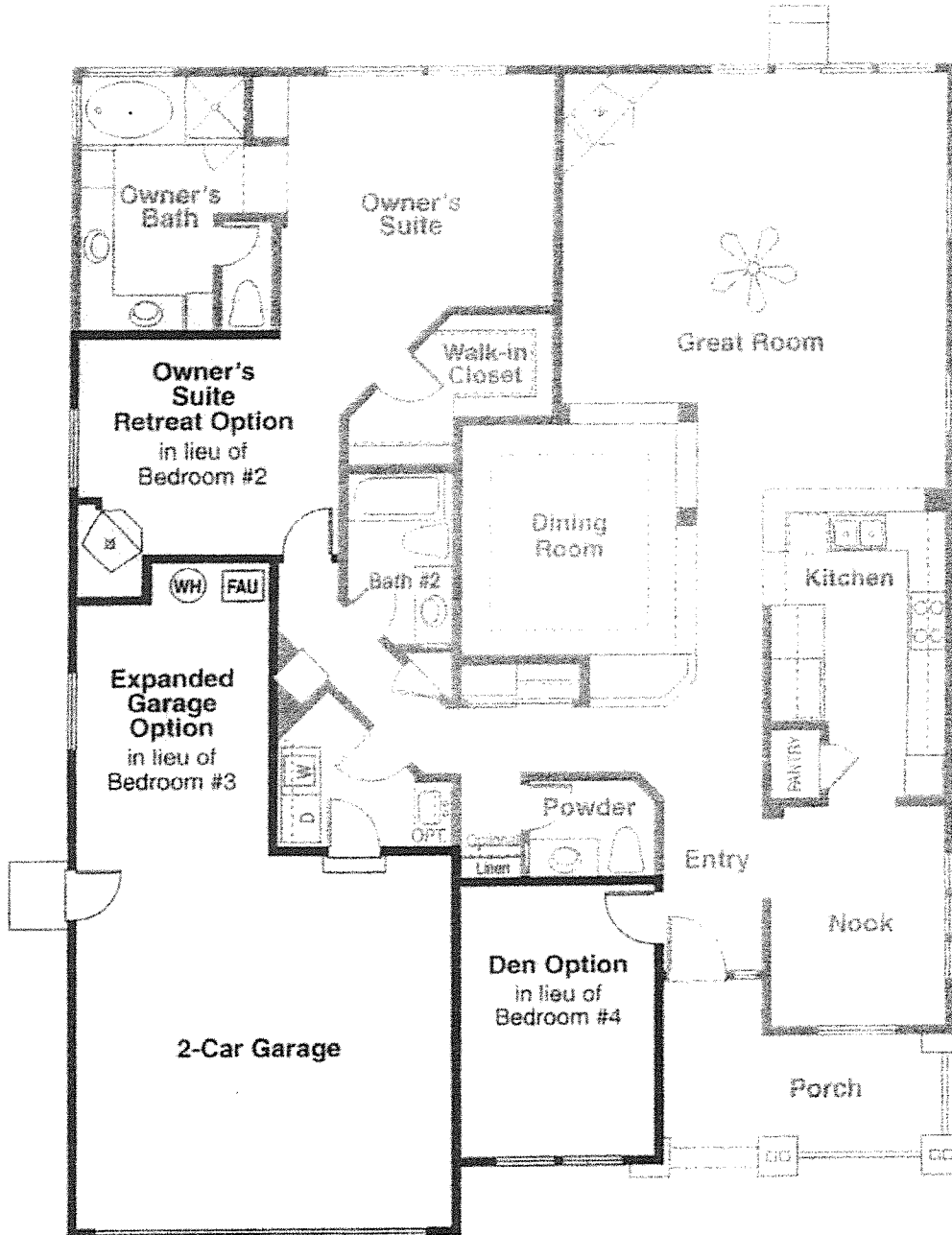
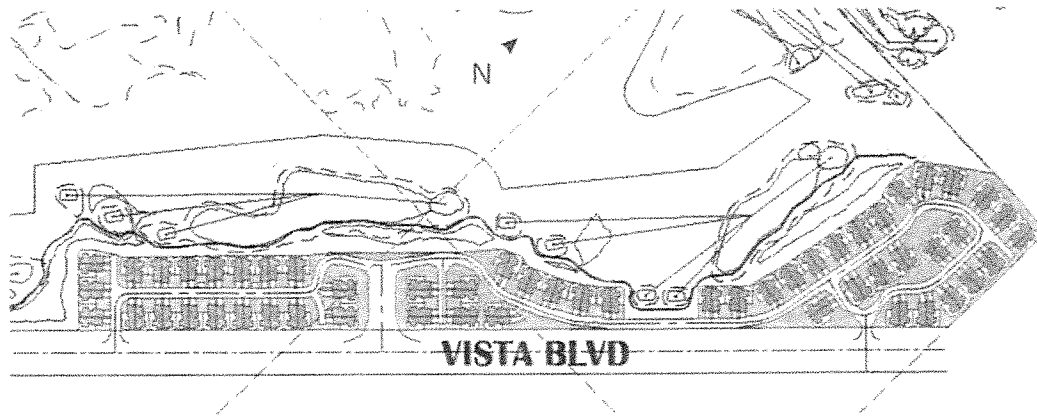


Figure 2-59  
Parcel 3 Single Family Floor Plan 3 (optional)

**B. Development Parcel Four (4) Townhome Residential Development Plan, Design Standards, and Regulations**

Development Parcel 4 will be a Townhome community. The minimum lot size or building envelope is 2,400 sq. ft. Setbacks and other design criteria can be found in the following Design Standards and Regulations Section. The parcel is bordered on the southeast by existing Vista Boulevard, on the northwest by the proposed public golf course and on the south and north by BLM property. Refer to *Figure 2-60*.



**Figure 2-60**  
**Development Parcel 4**  
**Townhomes**

**1. Parcel Specifications**

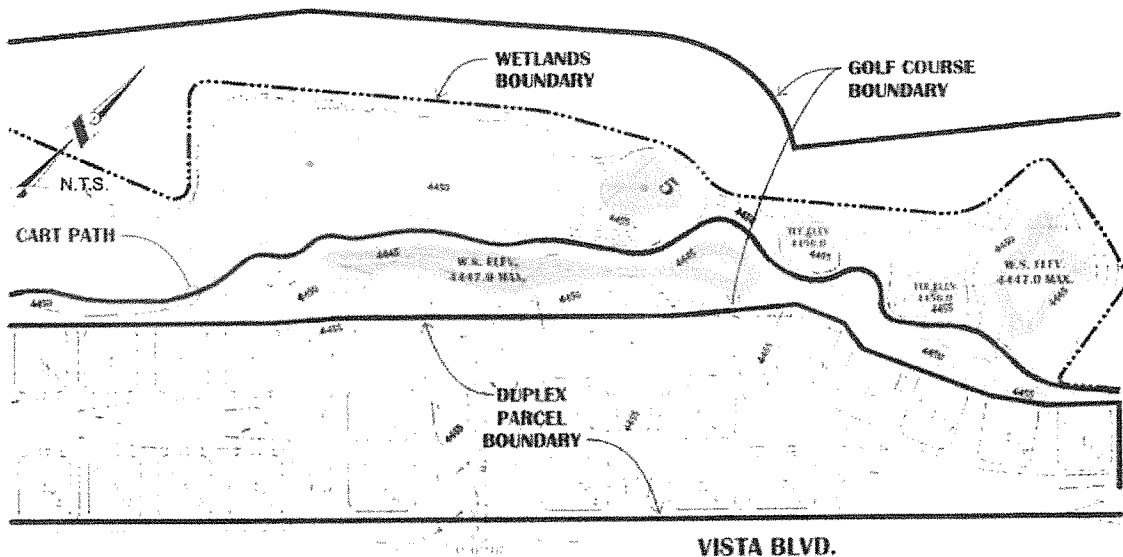
Acreage	15 acres	
Proposed Master Plan Designation	Residential 8 D.U./Acre	
Proposed Zoning	NUD	
Proposed Land Use	Medium density single family attached	
Proposed Dwelling Units	108	
Common Open Space	4.5 Acres	31%
Acres in Lots	7.3 Acres	48%
Acres in Streets	3.2 Acres	21%

## 2. Design Concept

The street and lot layout is intended to maximize the view potential to the wetlands and golf course to the northwest. The townhome community will provide open spaces and common areas for use by the residents. A small tot lot, picnic areas, sitting areas, and half court basketball are some of the potential recreational open space uses that will be incorporated into the community.

## 3. Grading

The existing site slope is less than 2% over the entire parcel. Slope analysis and cross sections are not required. The site will be graded to achieve two complimentary goals. The fill pads for the townhomes will only be filled sufficiently to remove the building pads from the FEMA flood plain and maintain minimum pipe cover for the storm drain system. This will elevate the building pads above the existing wetlands elevation, to enhance the view potential of the wetlands. The second and primary goal is to excavate the golf course area, outside the jurisdictional wetlands, and create additional storage volume for flood control enhancement. *Figure 2-61* illustrates the combination of these two goals. For the fill pads, an additional 42,000 cubic yards of fill will need to be placed. The soils in this area are marginal from a structural integrity standpoint, so a significant quantity of fill will need to be imported from Development Parcel 3, across Vista Boulevard. Refer to the appendix for full scale grading plans.



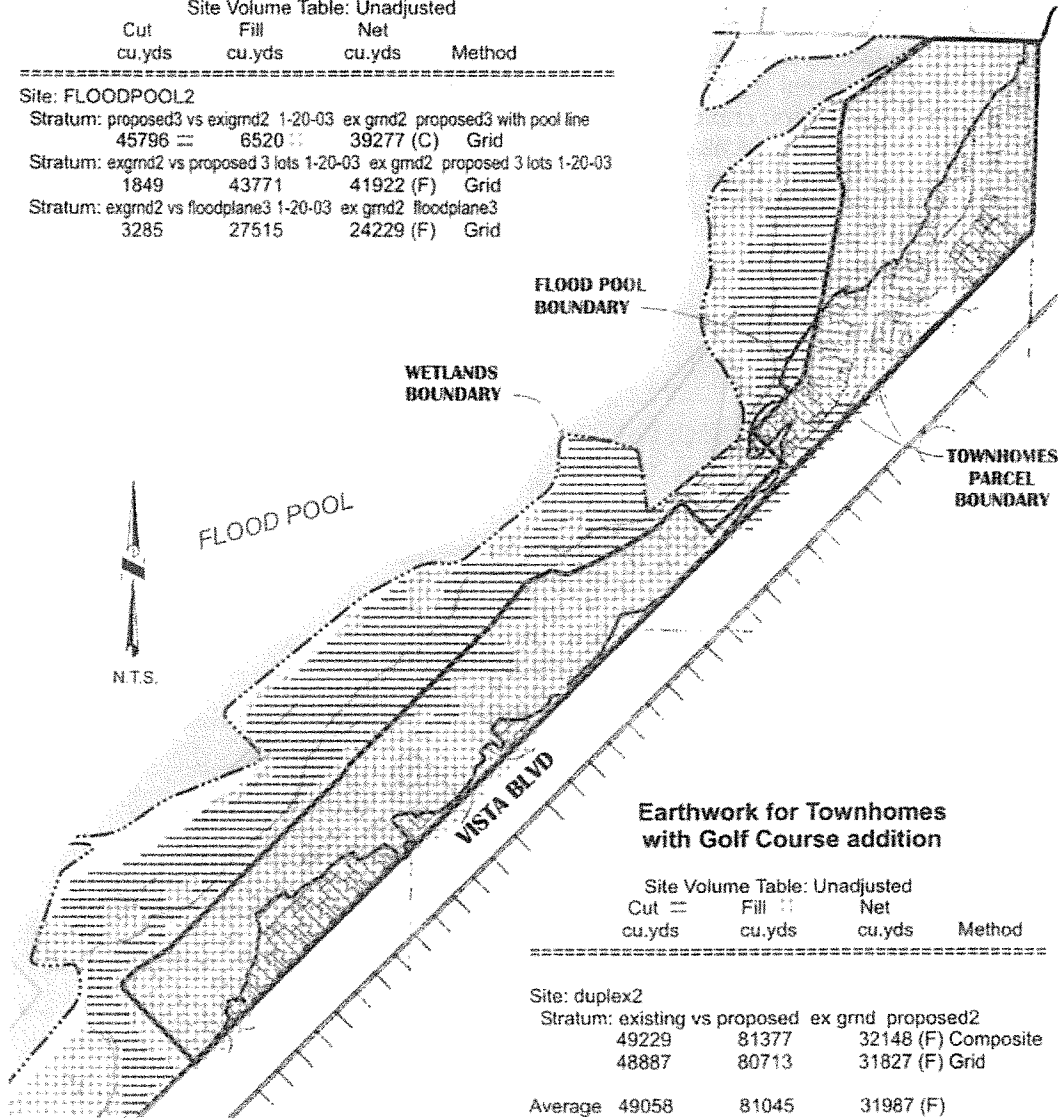
**Figure 2-61**  
**Grading Concept**

#### 4. Creation of Additional Flood Pool Volume

The portion of the golf course immediately adjacent to Development Parcel 4 may be graded in such a way that additional flood pool volume could be created. Our preliminary calculations indicate an additional 39,300 cubic yards of excavation below the flood pool elevation. (Refer to *Figure 2-62*). The amount of fill below the flood pool elevation of 4455.8 is estimated to be 24,300 cubic yards, leaving a net increase in storage volume of 15,000 cubic yards, or  $\pm 9$  acre feet of storage created with this grading concept for the golf course.

### Earthwork for Flood Pool

Site Volume Table: Unadjusted			
Cut	Fill	Net	Method
cu.yds	cu.yds	cu.yds	
=====			
Site: FLOODPOOL2			
Stratum: proposed3 vs exigrnd2 1-20-03 ex grnd2 proposed3 with pool line			
45796	6520	39277 (C)	Grid
Stratum: exgrnd2 vs proposed 3 lots 1-20-03 ex grnd2 proposed 3 lots 1-20-03			
1849	43771	41922 (F)	Grid
Stratum: exgrnd2 vs floodplane3 1-20-03 ex grnd2 floodplane3			
3285	27515	24229 (F)	Grid



### Earthwork for Townhomes with Golf Course addition

Site Volume Table: Unadjusted			
Cut	Fill	Net	Method
cu.yds	cu.yds	cu.yds	
=====			
Site: duplex2			
Stratum: existing vs proposed ex grnd proposed2			
49229	81377	32148 (F)	Composite
48887	80713	31827 (F)	Grid
Average			
49058	81045	31987 (F)	

Figure 2-62  
Cut and Fill



**5. Utility Connections**

**a. Irrigation**

Reclaimed water may be used to irrigate the Vista Boulevard frontage and the common areas within the townhome community. It will also be used to irrigate the golf course and provide make-up water for the irrigation ponds in this location.

**b. Sanitary Sewer**

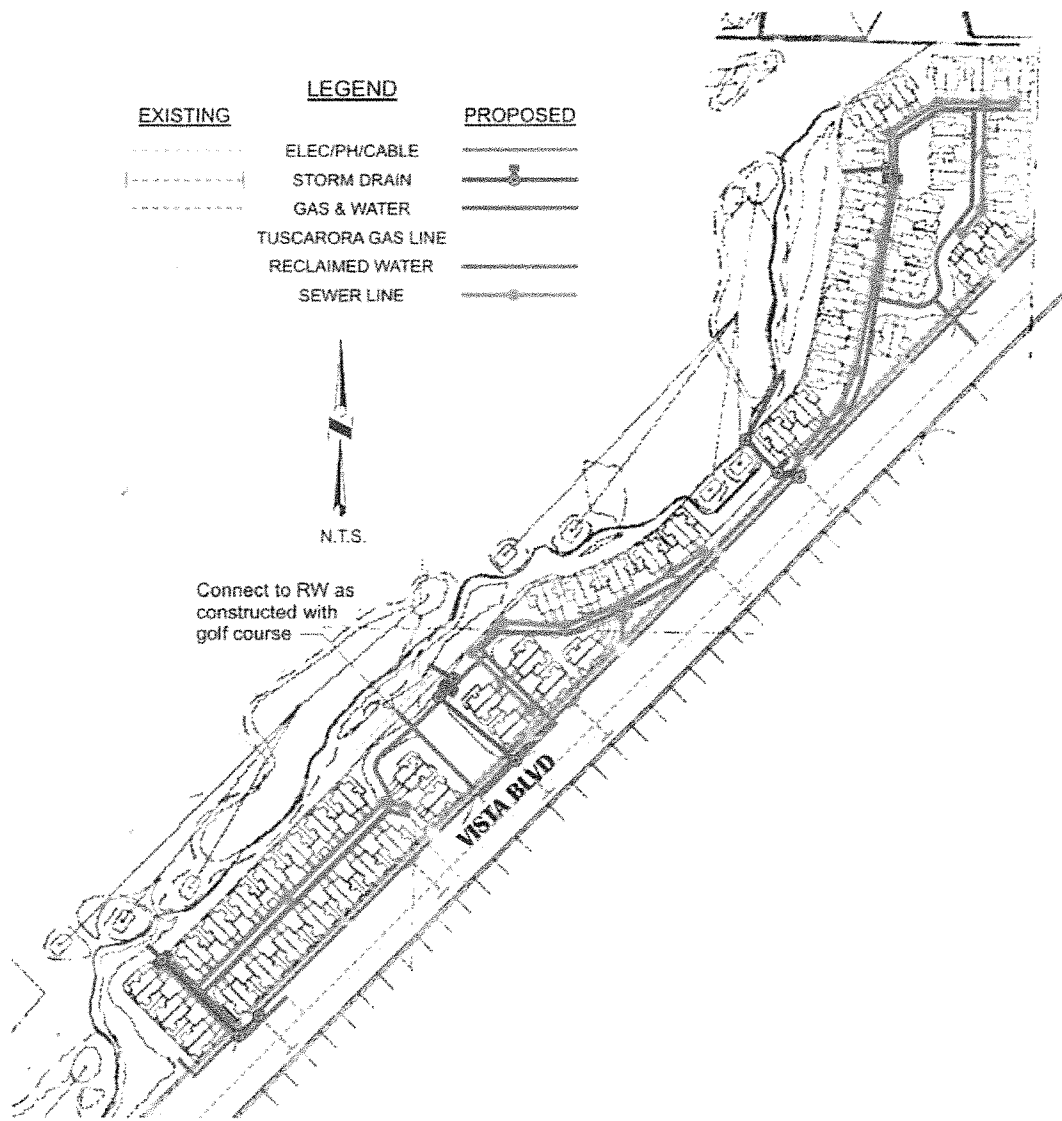
The northeast trunk sewer exists on the west side of Vista Boulevard adjacent to Parcel 4. Refer to the Sanitary Sewer Study for details on capacities, flows etc.

**c. Water**

Potable water service will come from the 24" water main on the east side of Vista Boulevard 10" stub extensions were constructed to serve this parcel. The parcel is not currently in the Truckee Meadows Water Authority (TMWA) service territory, so annexation to TMWA's retail service territory will be required.

**d. Gas and Electric, Phone and Cable**

Service will come from facilities constructed on the west side of Vista Boulevard. Extensions of electric, phone, and cable may require pavement cuts in the existing Vista Boulevard, if they were not constructed with the street improvements. Refer to *Figure 2-63* for preliminary utility locations within the proposed subdivision.



**Figure 2-63**  
**Preliminary Utility Locations**

## 6. Access and Circulation

The primary access to the parcel will be from the main entry off Vista Boulevard directly across from the Parcel 3 main access road. This main access will likely be a signalized intersection, if traffic warrants are met. It is spaced to meet the quarter mile spacing requirements of a medium access control arterial. There are two (2) other secondary access points on Vista Boulevard, primarily for secondary and emergency vehicle access. The internal streets are private gated local streets with parking for guests, meeting the City of Sparks design requirements for this type of roadway. (Refer to Design Standards and Regulations)

## 7. Vista Boulevard

With construction of each adjacent phase of Parcel 4, curb, gutter, sidewalk, and the 25 foot landscape buffer would need to be installed with each adjacent phase along the existing stretch of pavement that would need to be saw cut to accommodate the required curb and gutter. No widening is required along this side (west side) of Vista Boulevard.

## 8. Setback Requirements

For the purposes of defining setbacks for this housing type building envelopes shall be used. All setbacks are to common area boundaries, property lines, or facilities such as roadways/accessways, or right-of-way's, etc.

### a. Front Yard Setback (see Summary in Table 2-13)

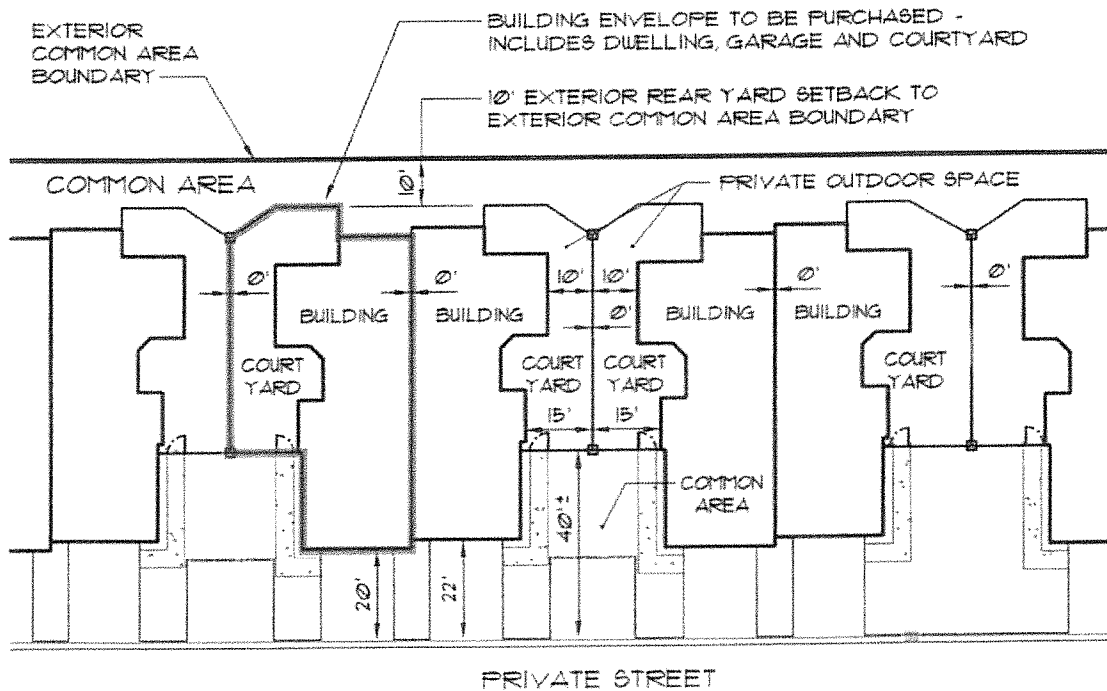
The minimum front yard setback to the building envelope from the private street will be 15 feet measured from the front building envelope line. In no case shall any portion of the second story of the building envelope be allowed closer than 20 feet from the private street. The garage portion of the building envelope shall be set back a minimum of 20 feet from the back of sidewalk or when no sidewalk, back of curb. (Refer to **Figure 2-64**)

### b. Rear Yard Setbacks (see Summary in Table 2-13)

No building envelope may be closer than ten (10) feet to the rear property line or from the common area exterior boundary. No accessory buildings are allowed. No two-story building envelopes will be allowed within ten (10) feet of the rear property line of any parcel adjacent to the perimeter of the project or 10 feet from the common area exterior boundary.

### c. Side Yard Setbacks (see Summary in Table 2-13)

The minimum side yard setback shall be five feet (5') adjacent to private roadways, and zero (0') feet internally.



**Figure 2-64**  
**Typical Building Envelope Setback Configuration**

**d. Architectural Projections**

Architectural projections shall remain within building envelope.

**e. Usable Open Space (see Summary in Table 2-13)**

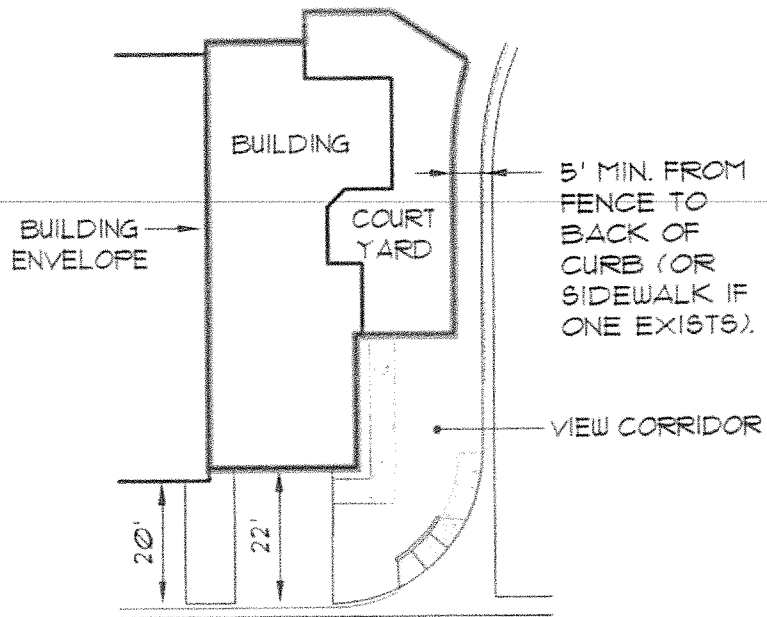
Minimum usable courtyard open space shall be 300 square feet for a two-bedroom residence and an additional 100 square feet for each additional bedroom.

**f. Shade Structures**

Shade structures shall be allowed within building envelopes.

**g. Corner Building Envelope Side Yard Setback**

The minimum side yard adjacent to a private street shall be 5 feet from the back of curb. Fences may be located five (5) feet from the back of curb or back of sidewalk when the sidewalk is on that side of street. No structure or fence shall be allowed in the view corridor formed by a rectangle that is 15 feet wide and 35 feet deep measured from the back of curb (Refer to Figure 2-65)



**Figure 2-65**  
**Corner Lot Side Yard Setback**

**Table 2-13**  
**Neighborhood Minimum Building Setback Requirements**

<u>TYPE</u>	<u>FEET</u>	<u>CONDITION</u>
Front Setback	15'	To building envelope
	20'	To garage portion of building envelope
	20'	To upper story of a two story building envelope where 29' private access way or streets are utilized
Rear Setback	10'	At rear corners of single story building envelope on irregular lots with 10-foot setback across back yard.
	10'	At exterior edge of property
Side-Yard Setback	5'	5' minimum; at exterior of building envelopes
	0'	Interior side

**9. Sectional Overhead Garage Doors**

Sectional overhead doors shall be required on all garages.

**10. Covered Porches – Courtyards**

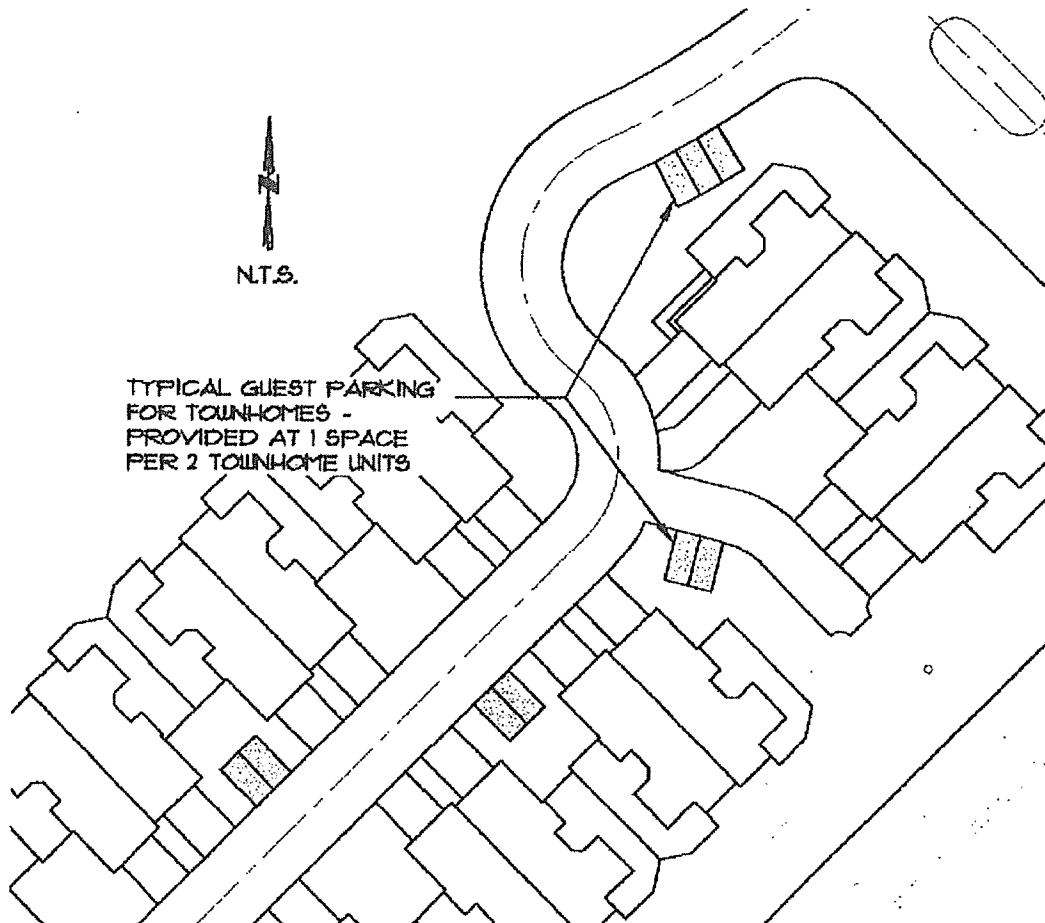
Covered porches are allowed within building envelopes.

**11. Building Envelope Height**

Maximum building envelope height shall be 2 stories and 30 feet maximum height per City of Sparks Ordinance 20.37.

**12. Parking Requirements**

Per City of Sparks Parking Ordinance 20.49. In addition, one-guest parking space shall be provided for every two (2) units distributed throughout the townhome development. (Refer to *Figure 2-66* for typical locations.)



**Figure 2-66**  
**Guest Parking – Typical Location**

### 13. Plan Conformance

Submitted plans for all developments shall comply with the Uniform Building Codes and all City of Sparks ordinances in effect prior to issuance of any building permit for the homes, the master plan for each model of home shall be reviewed and approved by the City of Sparks.

The Parcel Developer shall provide specific plot plans with a wet-stamp by a Nevada Registered Engineer for each individual pair of lots on an 8 1/2 x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to the issuance of building permits.

### 14. Interior Roadway Design Requirements

Table 2-14 (below) and Figure 2-20 ("Streetscape" elsewhere in this guideline document) outline the specific standards established for all interior neighborhood streets throughout Parcel Four (4) of the PD.

**Table 2-14**  
**Interior Local Standard Neighborhood Roadway Designs**

<u>TYPE</u>	<u>DIMENSIONS</u>	<u>CONDITION</u>
Local Private Street (see Fig. 2-20)	30' ROW	Standard local private residential street or access way
Sidewalks	4'	Provided on one side of the street only for pedestrian circulation

### 15. Landscape Design and Installation Requirements

#### a. Front Yard Landscaping Requirements

Parcel Developers shall be responsible for installation of front yard or common area landscaping on all townhomes at time of construction. The landscaping specifications shall conform to "Street Tree Concept" and "Common Area Landscape" elsewhere in these standards. Plant materials shall be appropriate to climatic conditions of the Sparks area and selected based upon recommendations of a horticultural soils suitability test and report pursuant to "Landscape Palette" list in appendix. Additionally, all front yard (common area) landscaping shall include an irrigation system designed to conserve water. Front yard landscape and irrigation plans must be submitted to the Master Developer for approval prior to application to the City of Sparks for their review and approval prior to building permits being issued.

**b. Other Landscaping Requirements**

In addition to front yard landscaping, each Parcel Developer shall be required to install landscaping, including irrigation and drainage, at the entrance of their respective neighborhood(s) and within all open space in their parcel. The HOA or lighting and landscape maintenance district shall assume maintenance responsibility for all neighborhood entry and open space landscaping following completion of installation, inspection, and approval by the City of Sparks, and expiration of the one (1) year (minimum) contractor's guarantee period related to said improvements.

The Master Developer retains the option to design and/or install any portion or all of the common area landscaping that will be maintained by the HOA. If the Master Developer exercises this option on behalf of the Parcel Developer, that Parcel Developer shall be required to reimburse the Master Developer for all costs associated with such design and/or installation.

The Master Developer shall retain responsibility to ensure landscaping for neighborhood entrances and open space areas are consistent with the intent and material requirements of the Design Standards throughout the PD. The Master Developer shall review and approve all landscaping and irrigation plans by the Parcel Developer prior to submittal to the City of Sparks for their review and approval.

**16. Fencing Design and Installation Requirement**

**a. Residential Fencing**

At the time of home construction, all Parcel Developers shall be required to install fencing enclosing the entire courtyard for each residence. All fencing abutting or seen from the local streets and/or open space shall conform to a pre-defined design uniform throughout the PD, including open-style fencing. All fence design standards and requirements shall be pursuant to, *Part IV "FENCING, LIGHTING, AND SIGNAGE DESIGN"* elsewhere in these guidelines.

All Parcel Developers will be responsible to install the perimeter fencing surrounding their respective development parcel. When one Parcel Developer's neighborhood boundary or phase boundary is contiguous with the back property line of residential lots within a neighborhood of another Parcel Developer (therefore, not seen by the public), the Parcel Developers of each contiguous neighborhood shall be responsible for coordinating installation of fencing acceptable to both Parcel Developers. Should a dispute arise between Parcel Developers with respect to the design and/or cost of such fencing, the Master Developer shall dictate the fencing to be utilized, with the approval of the City of Sparks.

**b. Common Area Fencing**

The Master Developer shall retain the option to install all or part of common area fencing visible to the public. In the event the Master Developer elects to install such common area fencing on behalf of a Parcel Developer, that Parcel Developer will be required to reimburse the Master Developer for the cost of such installation.

The Master Developer shall retain responsibility to ensure all fencing is consistent with the intent and material requirements of the Design Standards throughout the PD. All fence design standards and requirements shall be pursuant to *Part IV "FENCING, LIGHTING, AND*



*SIGNAGE DESIGN*" elsewhere in these guidelines. The Master Developer shall review and approve all fence permits prior to submittal to the City for review and approval.

## **17. Residential Architectural Design Standards**

### **a. Roofing Materials**

All townhomes within the PD shall be constructed with standing seam metal, concrete tile, slate, or clay tile roofing materials. No asphalt style shingle roofing materials will be used within the PD without the prior written approval of the Administrator. If asphalt roofing is allowed only Elk 40-Year Prestique architectural definition composition roofing material or equal shall be allowed. (Refer to *Figure 2-67 through 2-78 for Architectural Elevation Concepts*)

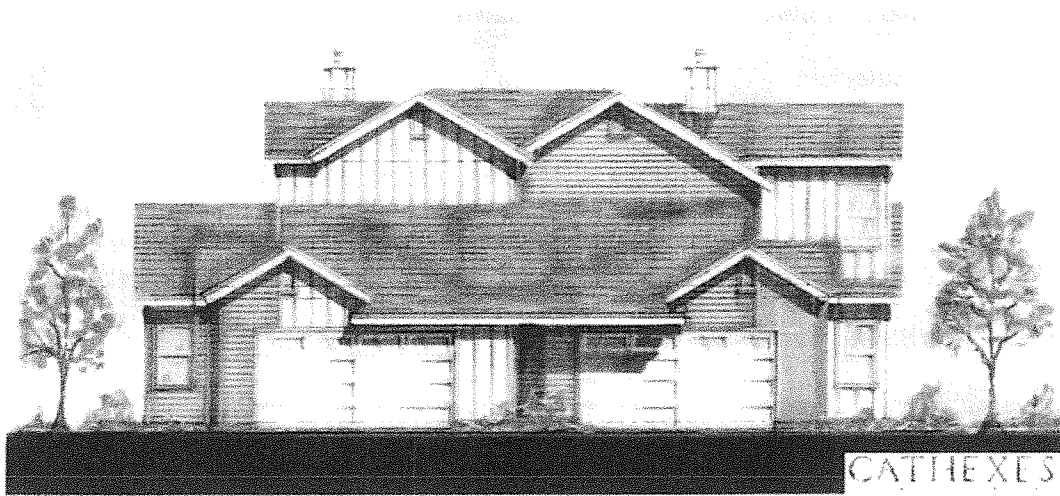
### **b. Exterior Siding Materials**

All homes within the PD will be constructed with high quality siding materials. Stucco, Masonite, shiplap wood siding, hardboard or composite siding, rock, stone accents, and brick are all acceptable siding materials. T-111 or other plywood style sidings are not acceptable. The Master Developer shall maintain an acceptable sidings material list that may change from time to time at the discretion of the Master Developer and the Administrator. All windows and doors shall be trimmed with a minimum 4" molding on all front, side, and rear elevations. Any variance from the established siding materials list must be approved in writing by the Master Developer and the Administrator. (Refer to *Figure 2-67 through 2-78 for Architectural Elevation Concepts*)

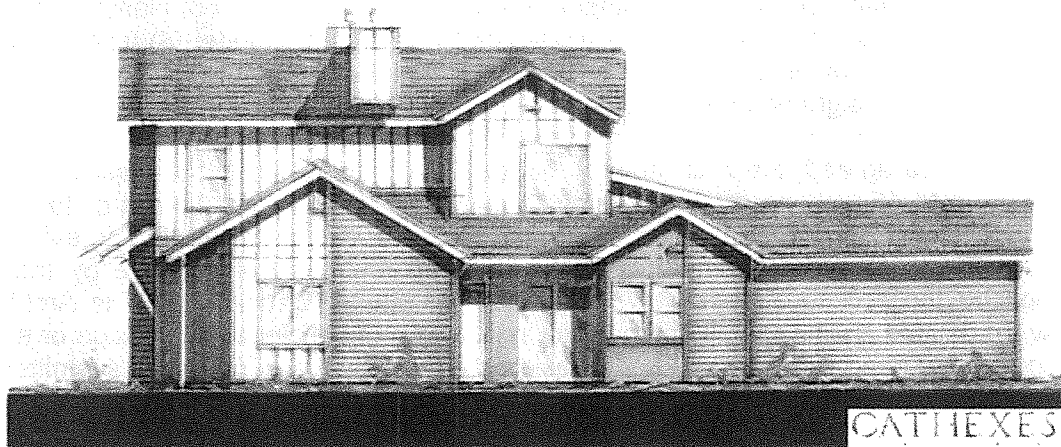
## **18. Architectural Design Review and Approval**

To maintain the quality and integrity of the PD design concepts, the Master Developer has established a requirement that all Parcel Developers submit plans and elevations of their proposed residential architecture to the HOA Architectural Review Committee (initially the Master Developer). Each Parcel Developer not associated with the Master Developer will be required to submit the following for architectural review: (1) residential floor plans; (2) elevations (front, sides, and rear); (3) exterior siding materials list and color palette; (4) fencing plans; (5) front yard landscape plans or illustrations; and (6) common area landscaping plans within the Parcel Developer's neighborhood.

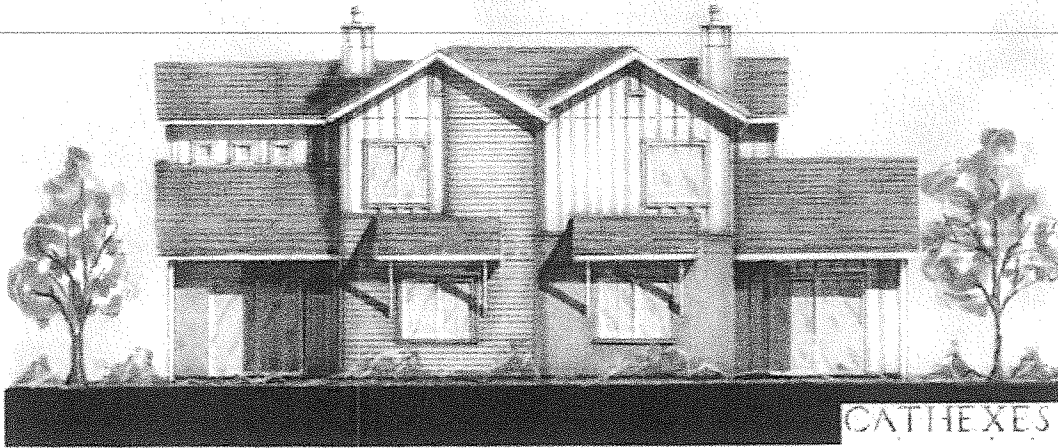
Unless otherwise agreed, the Architectural Review Committee (initially the Master Developer) shall have up to 15 working days to approve the design of residential homes or to notify the Parcel Developer of any deficiencies in their submission or design. The 15-day review period shall commence upon full submission of the required architectural package by the Parcel Developer to the Architectural Review Committee (or Master Developer). The Architectural Review Committee shall issue all approvals or notification of deficiencies in design or submittal in writing. Once approved, a Kiley Ranch Design checklist shall be signed and submitted to the City of Sparks with the approved plans for the City's review and approval.



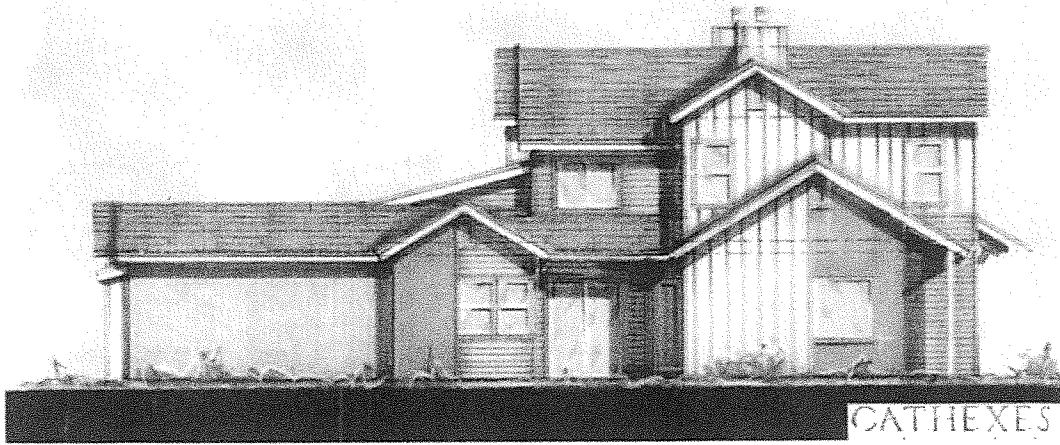
**Figure 2-67**  
**Townhomes Building B**  
**Front Elevation**



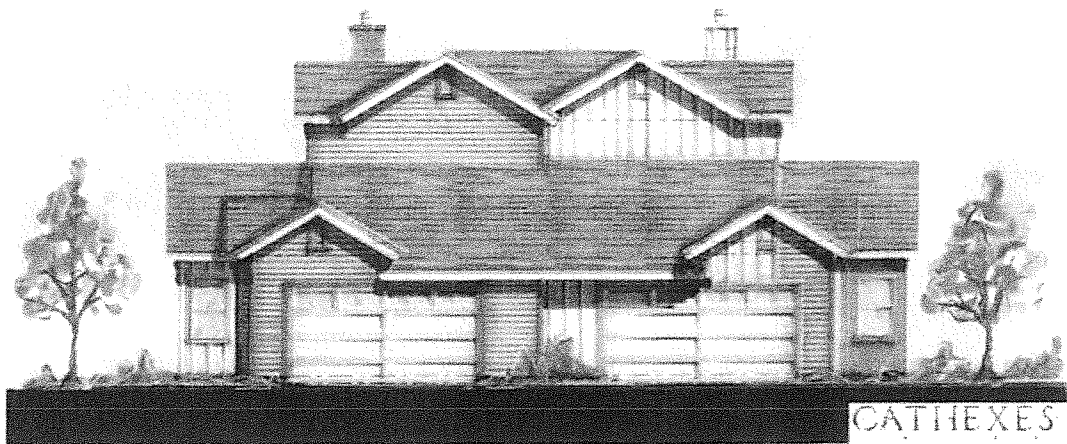
**Figure 2-68**  
**Townhomes Building B**  
**Left Elevation**



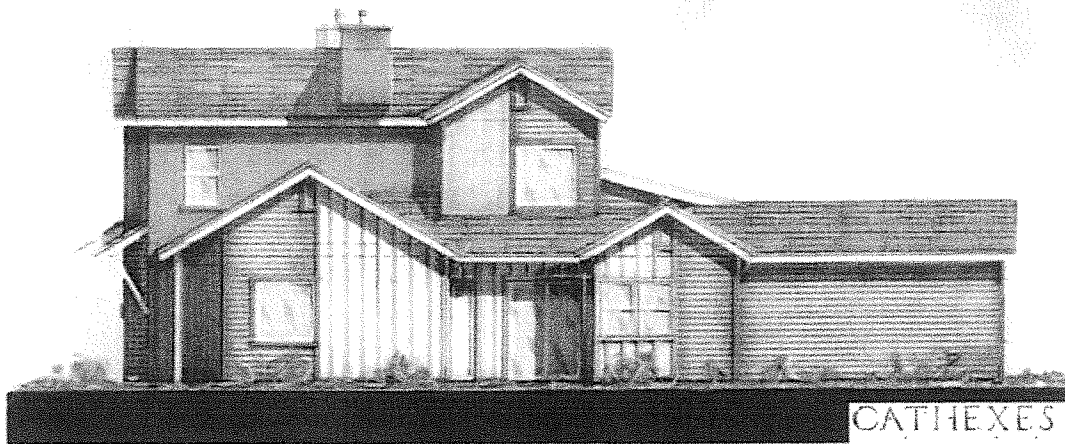
*Figure 2-69  
Townhomes Building B  
Rear Elevations*



*Figure 2-70  
Townhomes Building B  
Right Elevation*



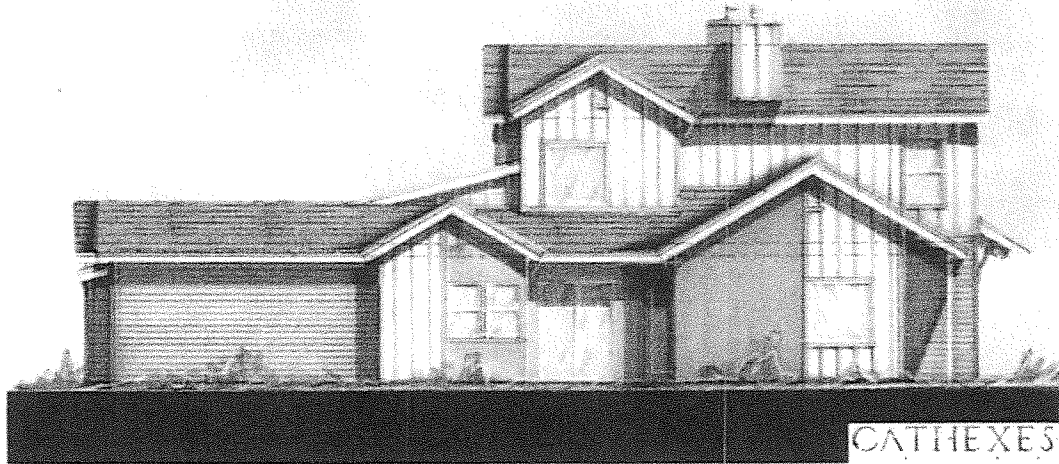
**Figure 2-71**  
**Townhomes Building C**  
**Front Elevation**



**Figure 2-72**  
**Townhomes Building C**  
**Left Elevation**



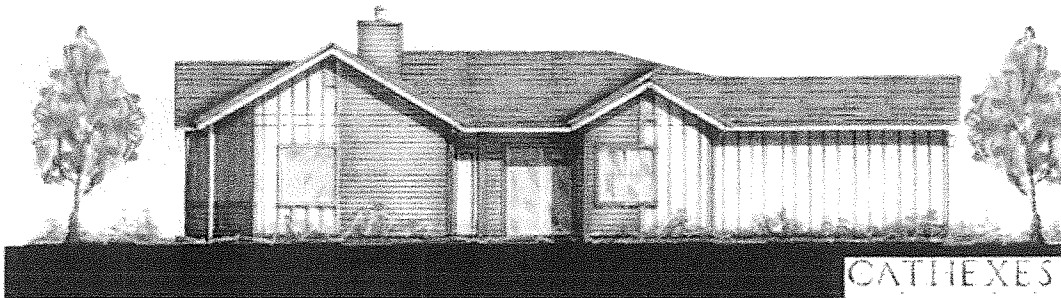
*Figure 2-73  
Townhomes Building C  
Rear Elevation*



*Figure 2-74  
Townhomes Building C  
Right Elevation*



*Figure 2-75  
Townhomes Building E  
Front Elevation*



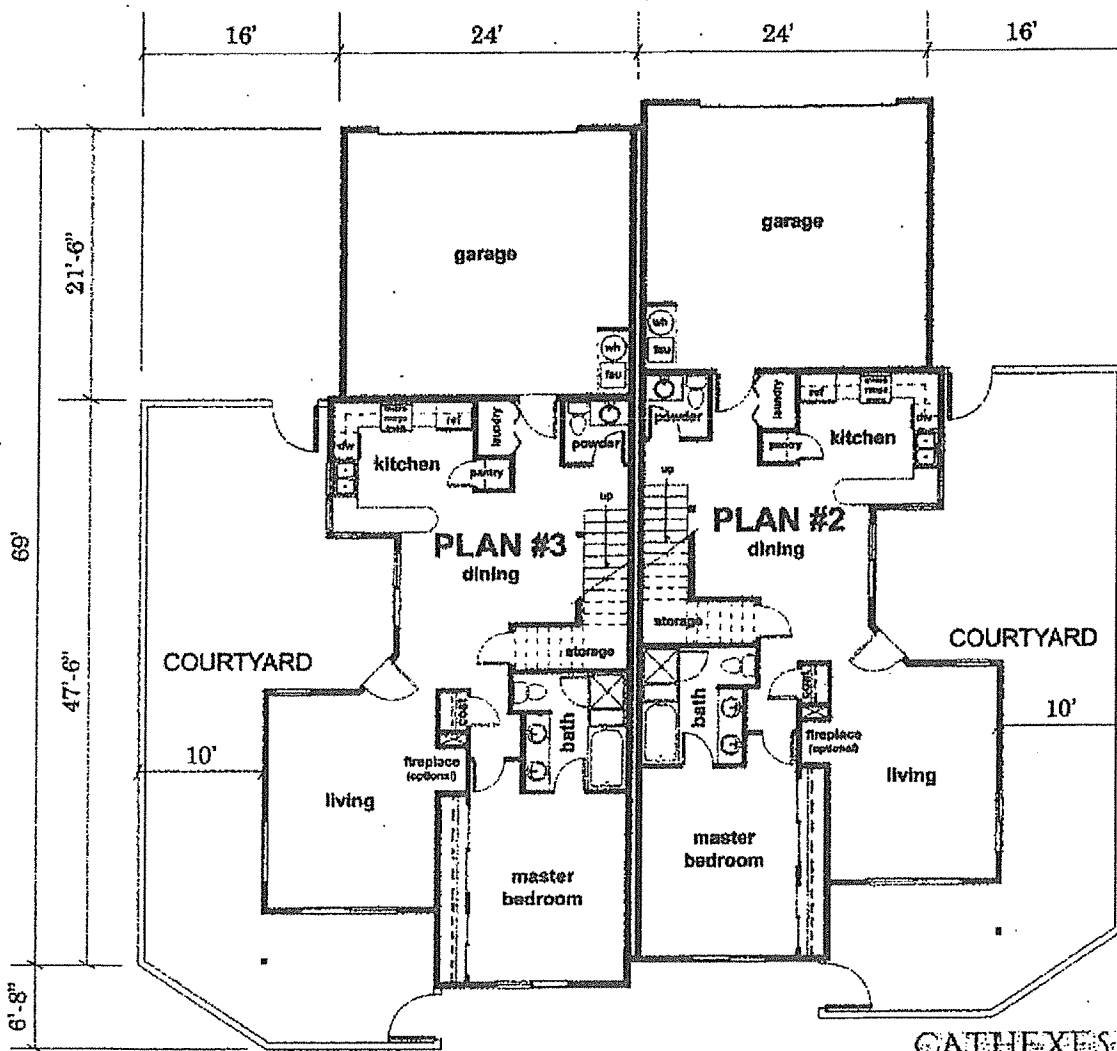
*Figure 2-76  
Townhomes Building E  
Left Elevation*



*Figure 2-77  
Townhomes Building E  
Rear Elevation*

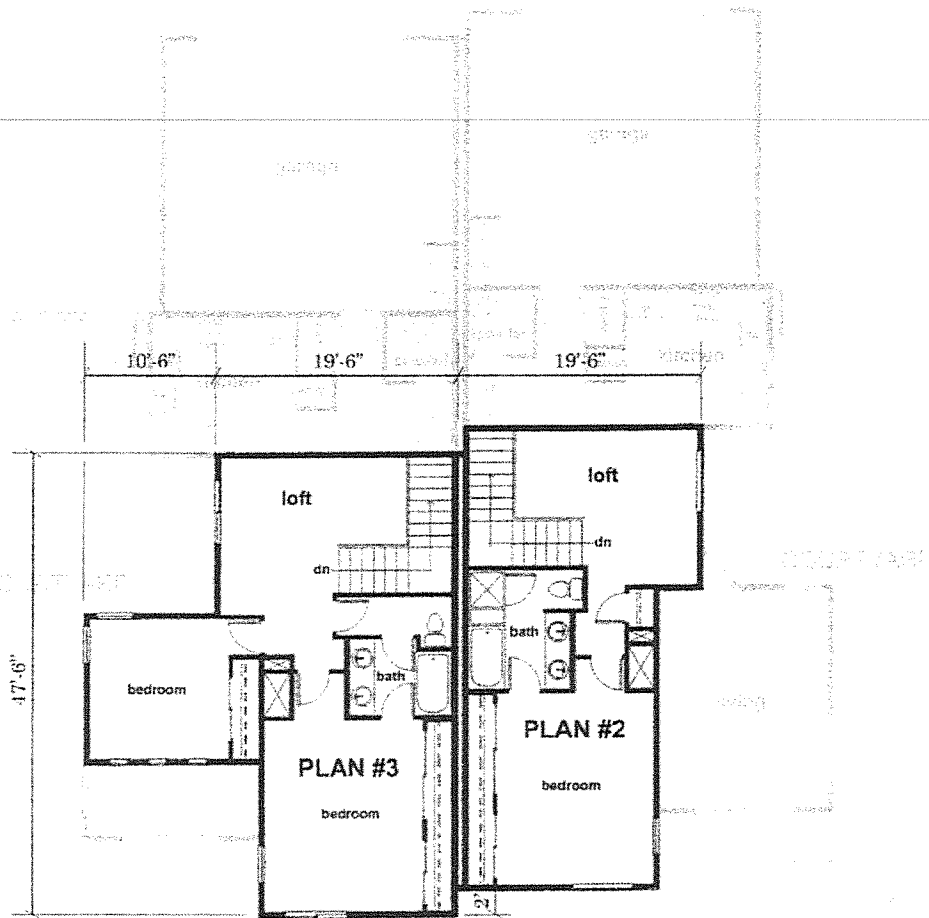


*Figure 2-78  
Townhomes Building E  
Left Elevation*



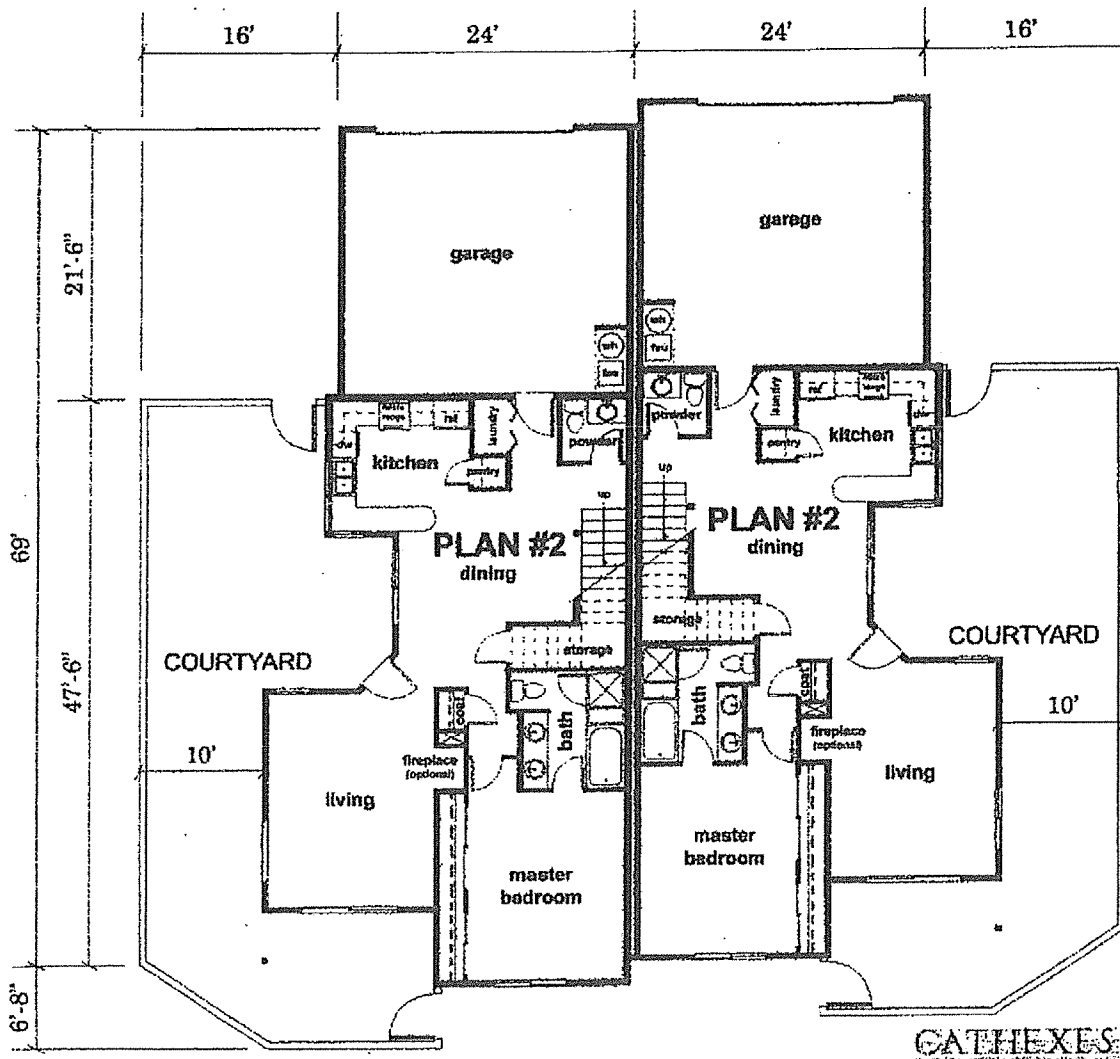
**Figure 2-79**  
**Townhomes Building B**  
**1<sup>st</sup> Floor Plan**



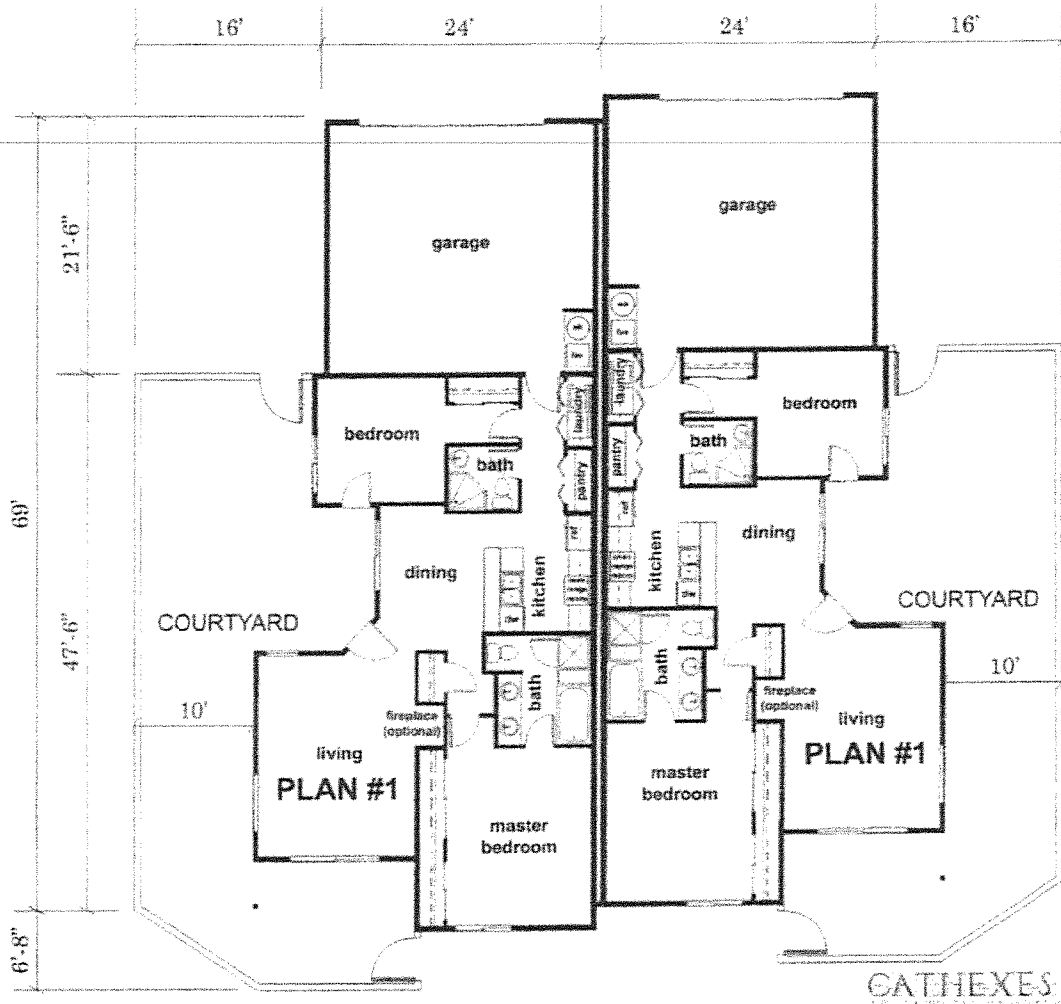


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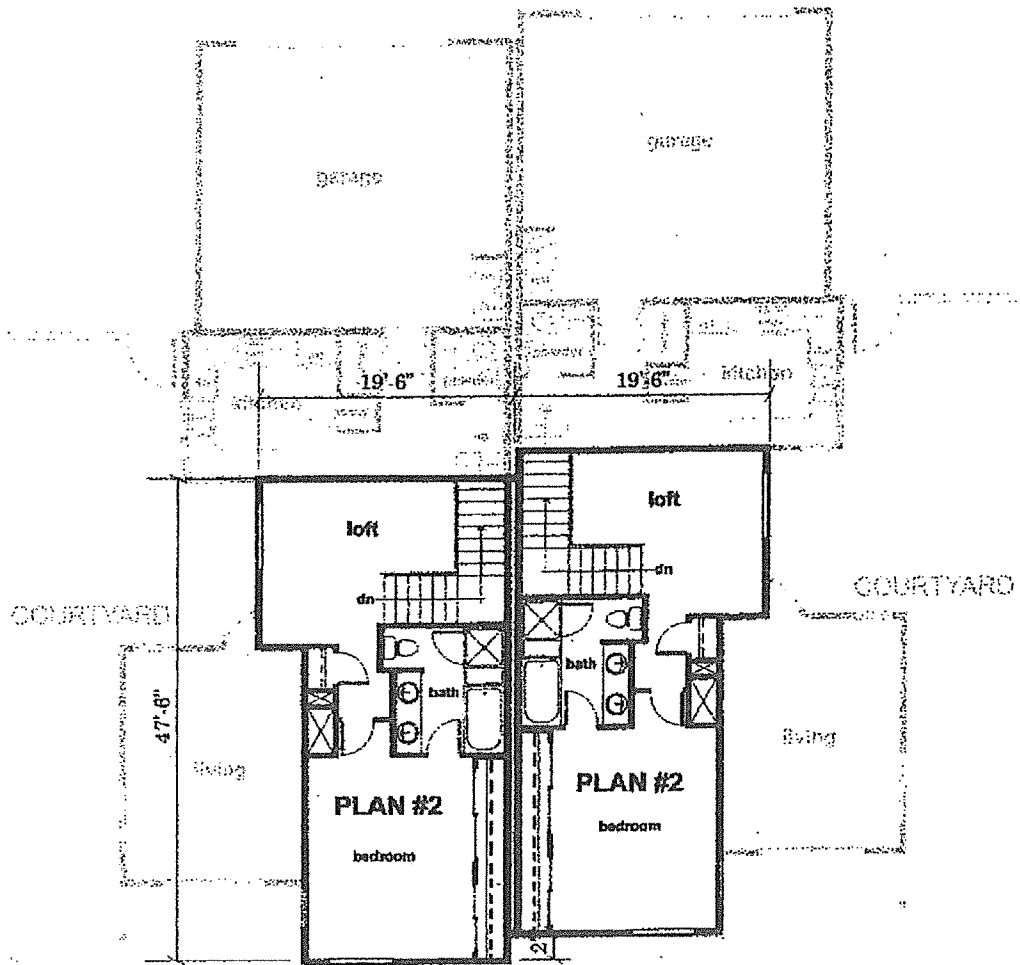
**Figure 2-80**  
**Townhomes Building B**  
**2<sup>nd</sup> Floor Plan**



**Figure 2-81**  
**Townhome Building C**  
**1<sup>st</sup> Floor Plan**



**Figure 2-82**  
**Townhomes Building E**  
**Floor Plan**

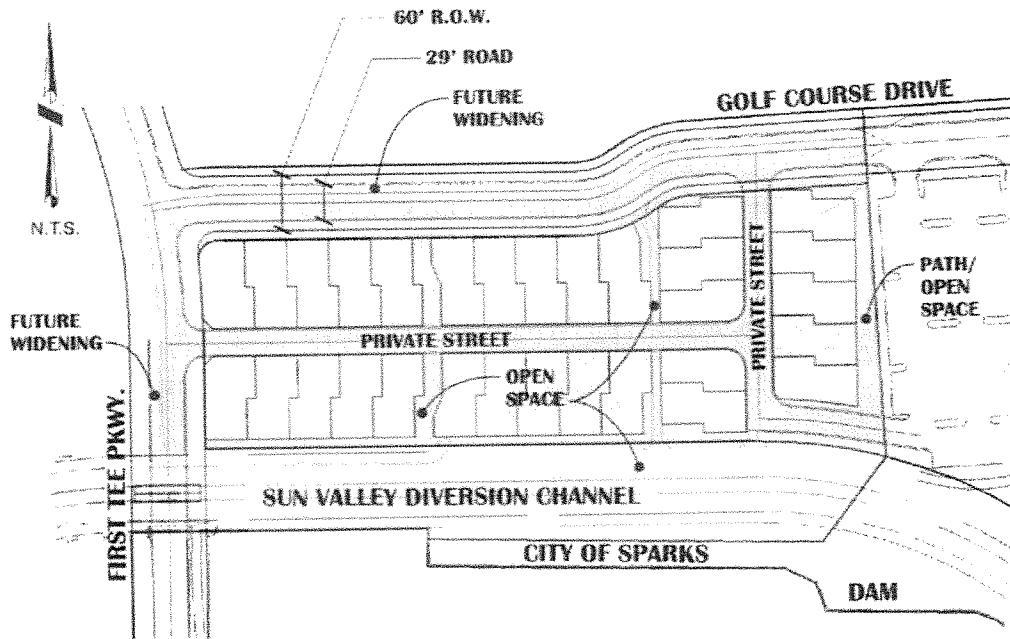


**Figure 2-82a**  
**Townhomes Building C**  
**2<sup>nd</sup> Floor Plan**

**C Development Parcel Five (5) Zero Lot Line Residential Development Plan, Design Standards, and Regulations**

Development Parcel 5 will be a zero lot line "bungalow" community. The minimum lot size is 3500 sq. feet. Setbacks and other design criteria can be found in the following Design Standards and Regulations Section. The parcel is bordered on the south by the Sun Valley Diversion channel and Sparks Detention Dam, on the west by the extension of First Tee Parkway, on the north by the working Kiley Ranch and on the east by the proposed public golf course. Refer to *Figure 2-83*.

Development Parcel 5 will be a zero lot line "bungalow" Community. The minimum lot size is 3500 square feet. Setbacks and other design criteria can be found in the following Design Standards and Regulations section. The parcel is bordered on the south by the Sun Valley Diversion Channel and Sparks Detention Dam, on the west by the extension of First Tee Parkway, on the north by the working Kiley Ranch and on the east by the proposed public golf course. Refer to *Figure 2-83*.



**Figure 2-83  
Zero Lots Site Plan**

**1. Parcel Specifications**

Acreage	±7.0 acres	
Proposed Master Plan Designation	Residential 5 D.U./Acre	
Proposed Zoning	NUD	
Proposed Land Use	Medium density, zero lot line - single family	
Proposed Dwelling Units	30	
Common Open Space	2.2 Acres	32%
Acres in Lots	3.2 Acres	46%
Acres in Streets	1.6 Acres	22%



### 3. Grading

The existing site has a slope of less than 2%. No slope analysis or cross section is required. The site will be graded to minimize cut and fill as much as possible. The existing native soils are marginal from a structural standpoint, so import of fill for structural pads and street sub grade will be required. The east side of the property will be elevated to provide vertical separation from the parking lot and to drain to the existing 24" storm sewer stub in the middle of this parcel. Refer to the appendix for full scale grading plans for this parcel.

### 4. Utility Connections

#### a. Irrigation

Reclaimed water may be used to irrigate the First Tee Parkway and Golf Course Drive frontage and the common areas within the bungalow community.

#### b. Sanitary Sewer

The Northwest Trunk sewer exists to the east of this parcel. A 16" sanitary sewer extension will be constructed along the internal private streets and stubbed out for future extension beyond the paving of First Tee Parkway. The golf course clubhouse can be served with sewer from a direct connection into the northeast trunk, less than 100 feet to the east.

#### c. Water

Potable water service will come from a 16" water main extension up First Tee Parkway. The parcel is not currently in the Truckee Meadows Water Authority (TMWA) service territory, so annexation to TMWA's retail service territory will be required prior to approval of the first final map of the project. Refer to *Figure 2-85* for preliminary utility locations within the proposed subdivision.

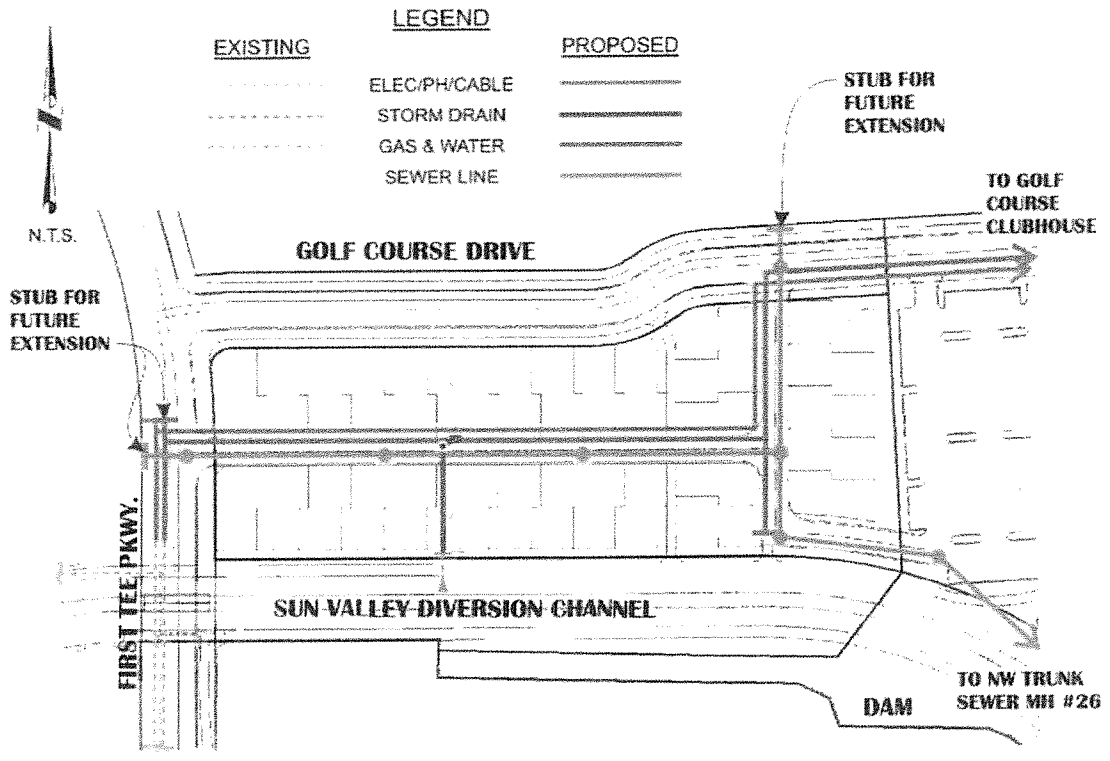


Figure 2-85  
 Zero Lot Utility Locations



**d. Gas and Electric, Phone and Cable**

Service will come from facilities constructed in the extension of First Tee Parkway on the west side of the parcel.

**5. Access and Circulation**

The primary access to the parcel will be from the extension of First Tee Parkway to the west. The access to the golf course clubhouse will be from Golf Course Drive extended from First Tee. Both of these roadways will be constructed in phases, with the initial phase of 29 feet being constructed with Development Parcel 5. If the golf course construction starts before Development Parcel 5, then the golf course will be required to construct the road. Secondary or emergency access will be provided by a private gated street connection between the parking lot for the golf course, through Development Parcel 5 and connected to First Tee Parkway.

**6. Setback Requirements and Local Road Standards**

**a. Front Yard Setback (see Summary in Table 2-15)**

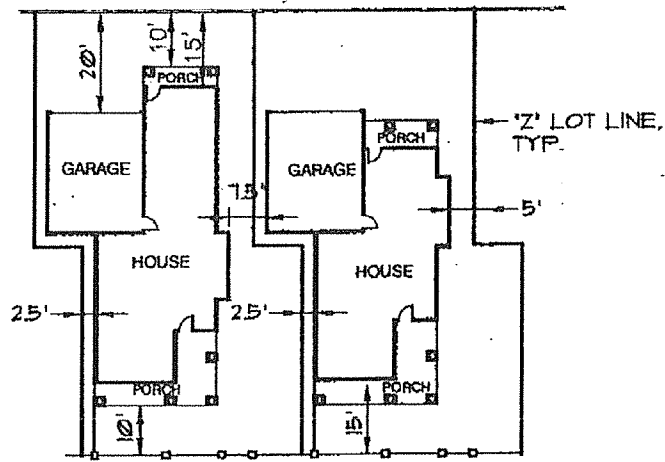
The minimum front yard setback to the residence will be 15 feet measured from the front property line. In no case shall any portion of the second story of any floor plan be allowed closer than 20 feet from the front property line. The garage shall be set back a minimum of 20 feet from the front property line. (Refer to *Figure 2-86*) A porch may be 10 feet from the front property line.

**b. Rear Yard Setbacks (see Summary in Table 2-15)**

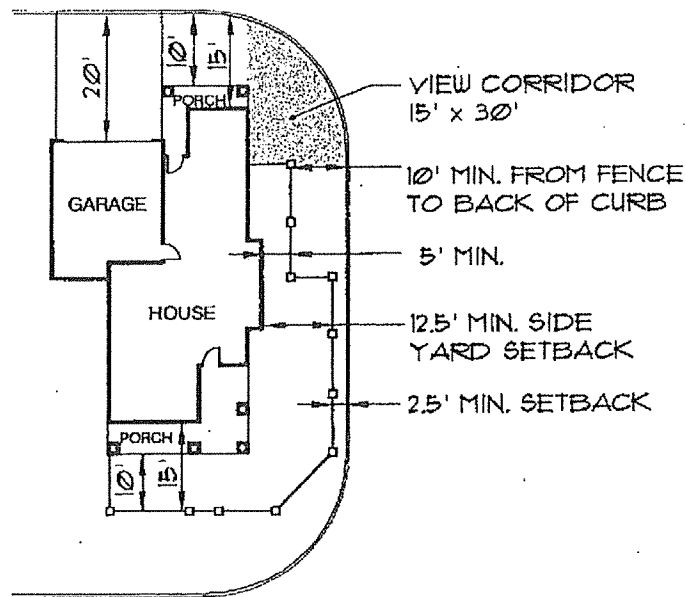
No building may be closer than fifteen (15) feet to the rear property line. Rear porches shall not be closer than 10 feet from the rear property line. No accessory buildings are allowed. Where lots are irregular, as in most corner lots, the building setbacks shall be an average fifteen (15) feet from the rear property line. No two-story structures will be allowed within fifteen (15) feet of the rear property line of any parcel or 15 feet from the common area exterior boundary.

**c. Side Yard Setbacks (see Summary in Table 2-15)**

The minimum distance between buildings shall be seven and one-half feet (7.5') the "Z Lot" side of the dwelling will be shifted off the property line 2.5 feet, to allow maintenance and drainage access, with a use easement granted to the adjacent owner



**Figure 2-86**  
**Typical Bungalow Lot Setback Configuration**



**Figure 2-87**  
**Bungalow Corner Lot Side Yard Setback**

**d. Architectural Projections**

Architectural projections such as fireplaces, box-outs, media niches porches, etc., are not permitted.

**e. Usable Open Space (see Summary in Table 2-15)**

Minimum usable rear yard space shall be 300 square feet for a two-bedroom residence and an additional 100 square feet for each additional bedroom.

**f. Shade Structures**

Shade structures are not permitted.

**g. Corner Lot Side Yard Setback**

The minimum side yard adjacent to a street shall be 15 feet from the pavement or back of curb. Fences may be located two and one-half (2.5) feet from the back of curb. No structure or fence shall be allowed in the view corridor formed by a rectangle that is 15 feet wide and 30 feet deep measured from the back of curb. (Refer to **Figure 2-87**)

**Table 2-15  
Neighborhood Minimum Building Setback Requirements**

<u>TYPE</u>	<u>FEET</u>	<u>CONDITION</u>
<b>Front Setback</b>	15	To residence
	20	To garage
	10	To porch
	20	To upper story of a two story residence where 29' access way or streets are utilized
<b>Rear Setback</b>	15	To residences
	10	Porch
<b>Side-Yard Setback</b>	5.5	5.5' minimum; 7.5' separation between adjacent main structure
	2.5	Opposite side
<b>Shade Structures</b>	5	Rear & Side yard only
<b>Common Area Equipment</b>		No Minimum setback

**7. Sectional Overhead Garage Doors**

Sectional overhead doors shall be required on all garages.

**8. Covered Porches**

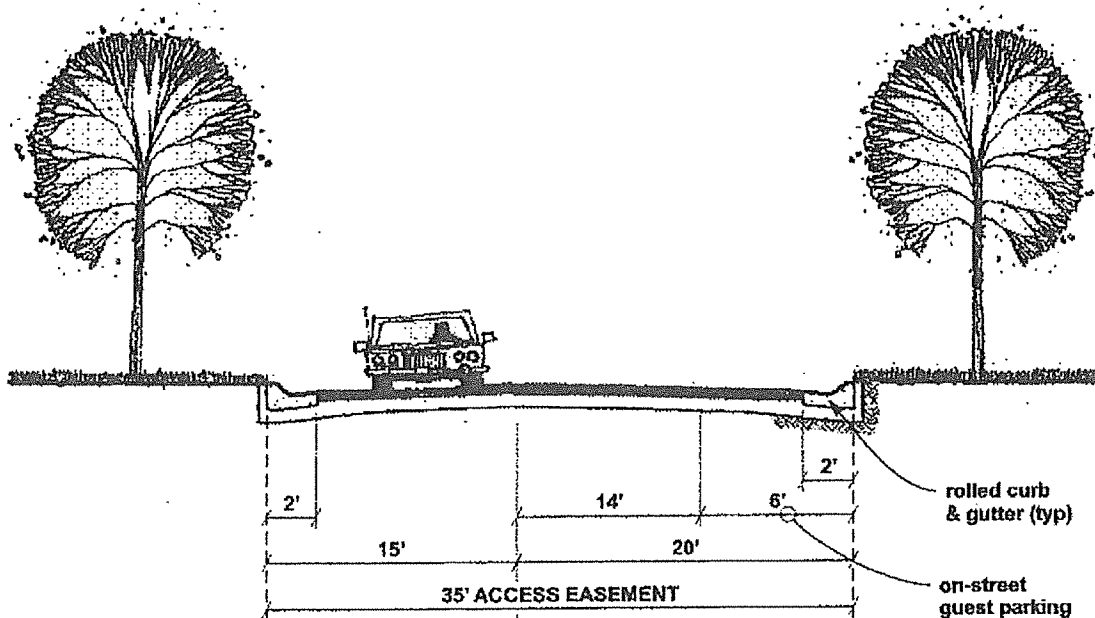
Covered porches are recommended on the front, rear, or side of dwellings. Porches shall be a minimum of 4 feet deep and be set back a minimum of 10 feet from the front or rear property line, and 5 feet from the side.

## 9. Building Height

Maximum building height shall be two (2) stories or 30 feet maximum height per City of Sparks Ordinance 20.37.

## 10. Parking Requirements

Per City of Sparks Parking Ordinance 20.49. (Refer to *Figure 2-88*) In addition, one guest parking space shall be provided for every 2 units along the private street. Refer to *Figure 2-88* Typical Guest Parking Locations.



**Figure 2-88**  
**Private Street Cross Section with On-Street Guest Parking**

## 11. Plan Conformance

Submitted plans for all developments shall comply with the Uniform Building Codes and all City of Sparks ordinances in effect prior to issuance of any building permit for the homes, the master plan for each model of home shall be reviewed and approved by the City of Sparks.

The Parcel Developer shall provide specific plot plans with a wet-stamp by a Nevada Registered Engineer for each individual pair of lots on an 8 ½ x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to issue of building permits.

## 12. Interior Roadway Design Requirements - Standard Developments

Table 2-16 (below) and Figure 20 (see "Streetscape" elsewhere in this guideline document) outline the specific standards established for all interior neighborhood streets throughout Development Parcel Four (4) of the PD.

Table 2-16

### Interior Local Standard Neighborhood Roadway Designs (Private)

<u>TYPE</u>	<u>DIMENSIONS</u>	<u>CONDITION</u>
Local Private Street (Ref. 2-20)	30' ROW	Standard local private residential street or access way
(Ref. Fig. 2-88)	35' ROW	With guest parking on one side of the street or access.
Sidewalks	None	

## 13. Landscape Design and Installation Requirements

### a. Front Yard Landscaping Requirements

Parcel Developers shall be responsible for installation of front yard or common area landscaping on all bungalows at time of construction. This landscaping shall be in conformance with "Street Tree Concept" and "Common Area Landscaping" elsewhere in these standards. Plant materials shall be appropriate to climatic conditions of the Sparks area and selected based upon recommendations of a horticultural soils suitability test and report pursuant to "Landscape Palette" list in the appendix. Additionally, all front yard (common area) landscaping shall include an irrigation system designed to conserve water. Front yard landscape and irrigation plans must be submitted to the Master Developer for approval prior to application to the City of Sparks for building permits.

### b. Other Landscaping Requirements

In addition to front yard landscaping, each Parcel Developer shall be required to install landscaping, including irrigation and drainage, at the entrance of their respective neighborhood(s) and within all open space in their parcel. The HOA or lighting and landscape maintenance district shall assume maintenance responsibility for all neighborhood entry and open space landscaping following completion of installation, inspection, and approval by the City of Sparks, and expiration of the one (1) year (minimum) contractor's guarantee period related to said improvements.

The Master Developer retains the option to design and/or install any portion or all of the common area landscaping that will be maintained by the HOA. If the Master Developer exercises this option on behalf of the Parcel Developer, that Parcel Developer shall be required to reimburse the Master Developer for all costs associated with such design and/or installation.

The Master Developer shall retain responsibility to ensure landscaping for neighborhood entrances and open space areas are consistent with the intent and material requirements of the Design Standards throughout the PD. The Master Developer shall review and approve all landscaping and irrigation plans by the Parcel Developer prior to submittal to the City of Sparks.

#### **14. Fencing Design and Installation Requirements**

##### **a. Residential Fencing**

At the time of home construction, all Parcel Developers shall be required to install fencing enclosing the entire back yard for each residence. All fencing abutting or seen from the local streets and/or open space shall conform to a pre-defined design uniform throughout the PD, including open-style fencing. All fence design standards and requirements shall be pursuant to *Part IV, "FENCING, LIGHTING, AND SIGNAGE DESIGN"* elsewhere in these standards.

All Parcel Developers will be responsible to install the perimeter fencing surrounding their respective village. When one Parcel Developer's neighborhood boundary is contiguous with the back property line of residential lots within a neighborhood of another Parcel Developer (therefore, not seen by the public), the Parcel Developers of each contiguous neighborhood shall be responsible for coordinating installation of a wood fence acceptable to both Parcel Developers. Should a dispute arise between Parcel Developers with respect to the design and/or cost of such fencing, the Master Developer shall dictate the fencing to be utilized.

##### **b. Common Area Fencing**

The Master Developer shall retain the option to install all or part of common area fencing visible to the public. In the event the Master Developer elects to install such common area fencing on behalf of a Parcel Developer, that Parcel Developer will be required to reimburse the Master Developer for the cost of such installation.

The Master Developer shall retain responsibility to ensure all fencing is consistent with the intent and material requirements of the Design Standards throughout the PD. All fence design standards and requirements shall be pursuant to *Part IV "FENCING, LIGHTING, AND SIGNAGE DESIGN"* elsewhere in these standards. The Master Developer shall review and approve all fence permits prior to submittal to the City.

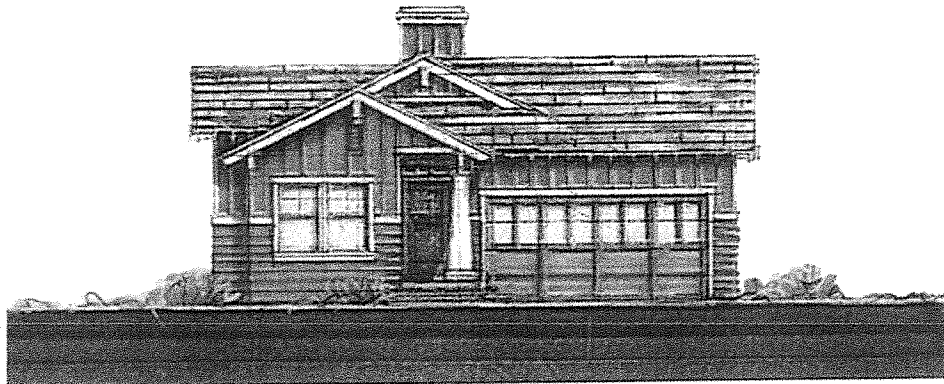
**15. Residential Architectural Design Standards**

**a. Roofing Materials**

All bungalows within the PD shall be constructed with standing seam metal, concrete tile, slate, or clay tile roofing materials. No asphalt style shingle roofing materials will be used within the PD without the prior written approval of the Administrator. If asphalt roofing is allowed only Elk 40-Year Prestique architectural definition composition roofing material or equal shall be allowed. (Refer to *Figure 2-89 through 2-103* for Architectural Elevation Concepts)

**b. Exterior Siding Materials**

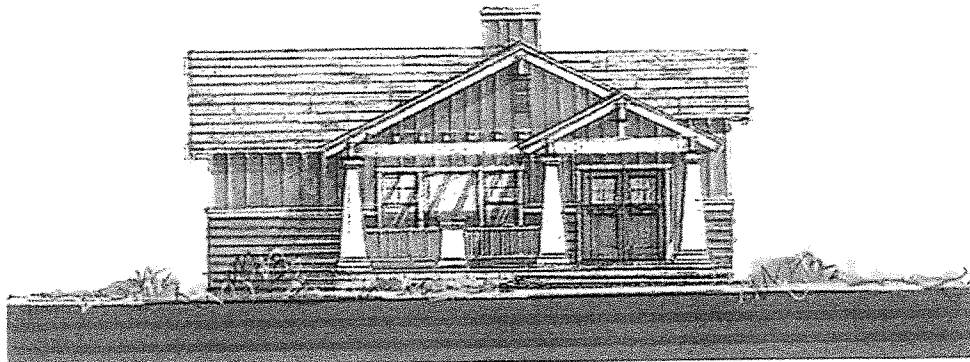
All homes within the PD will be constructed with high quality siding materials. Stucco, Masonite, shiplap wood siding, hardboard or composite siding, rock, stone accents, and brick are all acceptable siding materials. T-111 or other plywood style sidings are not acceptable. The Master Developer shall maintain an acceptable sidings material list that may change from time to time at the discretion of the Master Developer and the Community Development Director. Any variance from the established siding materials list must be approved in writing by the Master Developer and the Community Development Director. (Refer to *Figure 2-89 through 2-105* for Architectural Elevation and Floor Plan Concepts)



**Front Elevation Plan #1 - One Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-89*

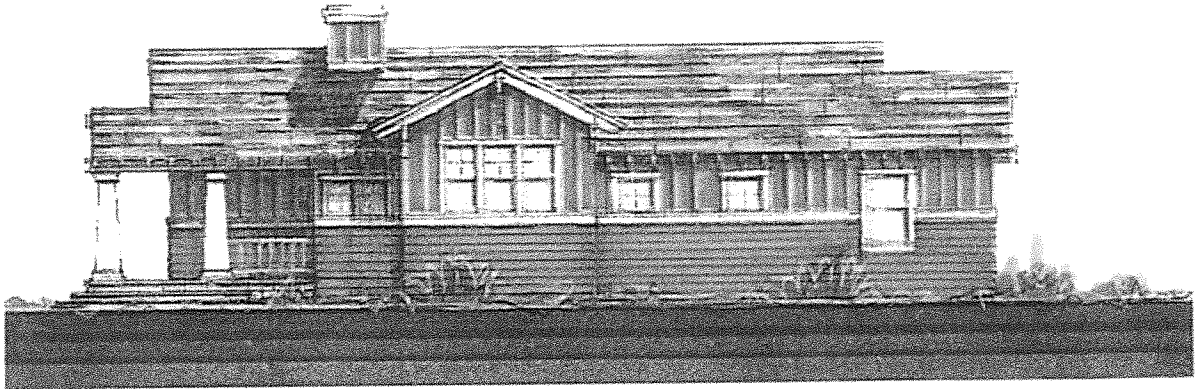


**Rear Elevation Plan #1 - One Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-90*

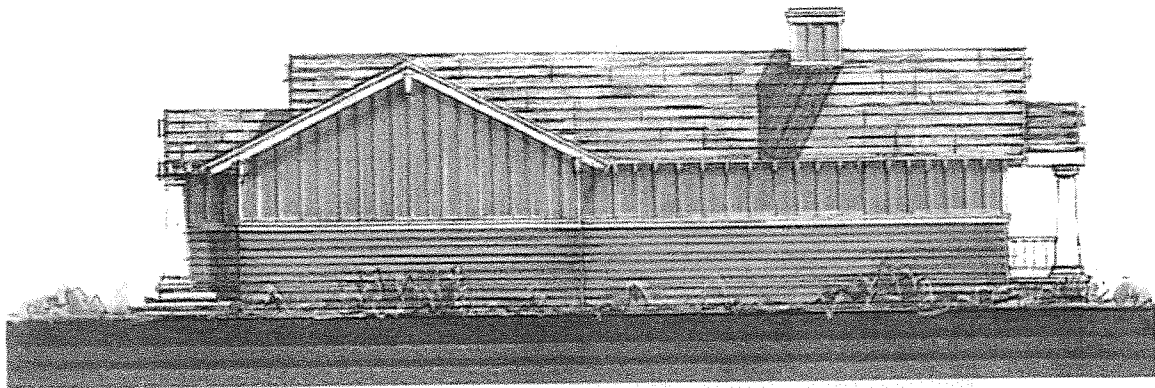




**Left Side Elevation Plan #1 - One Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-91*



**Right Side Elevation - One Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-92*

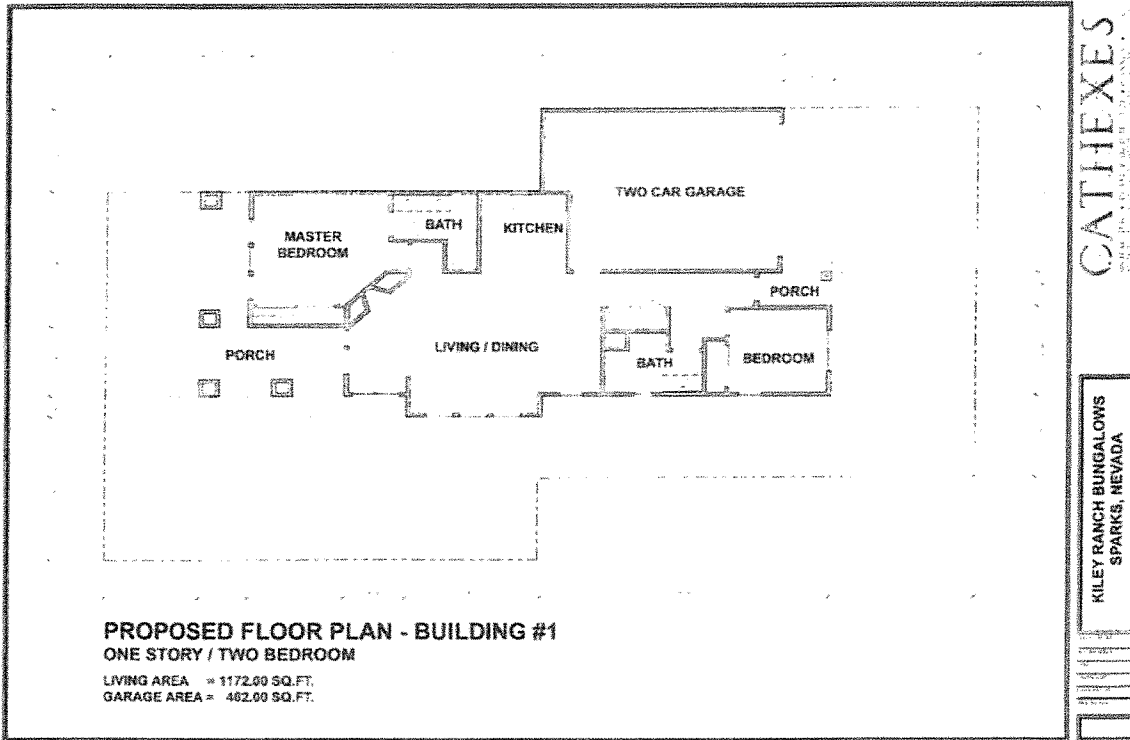
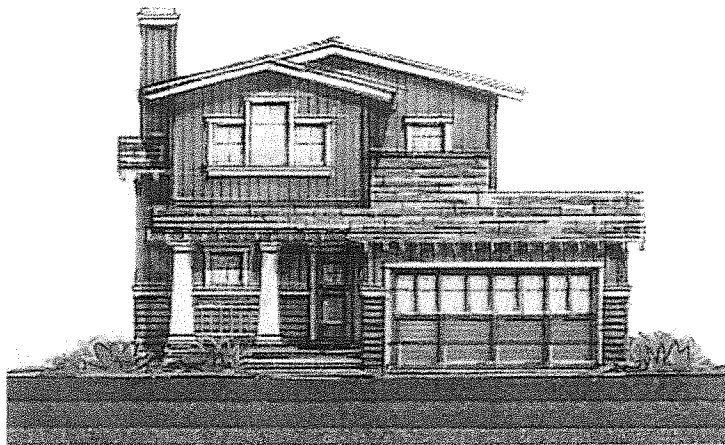


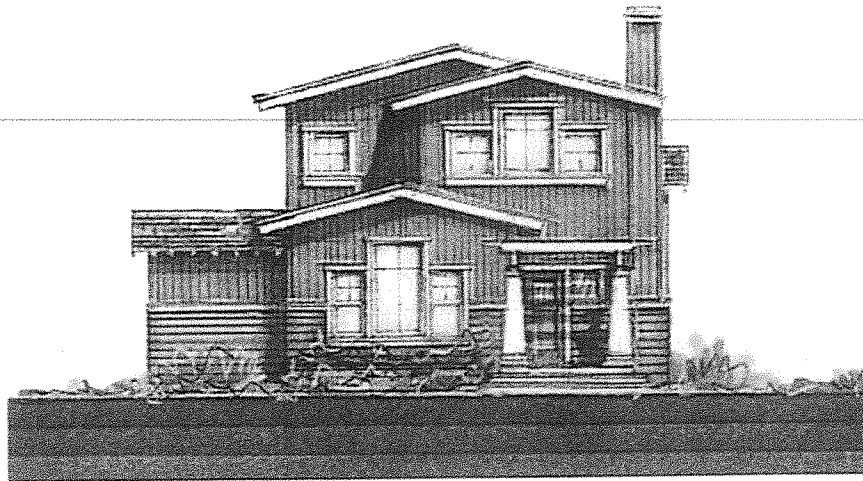
Figure 2-93



**Front Elevation Plan #2 - Two Story / Two Bedroom**  
**Kiley Ranch Bungalows**

01.20.03

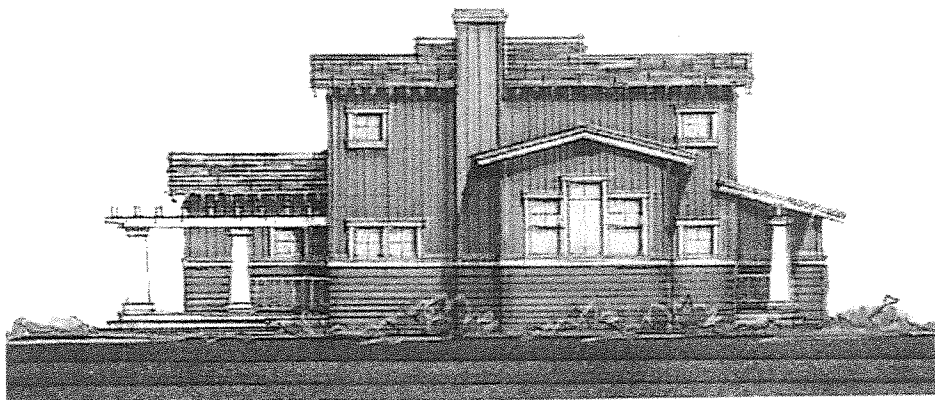
Figure 2-94



**Rear Elevation Plan #2 - Two Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

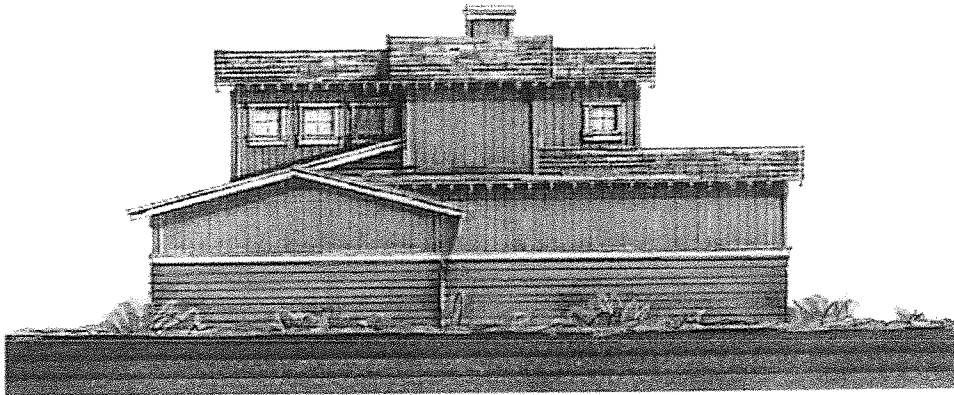
*Figure 2-95*



**Left Side Elevation Plan #2 - Two Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

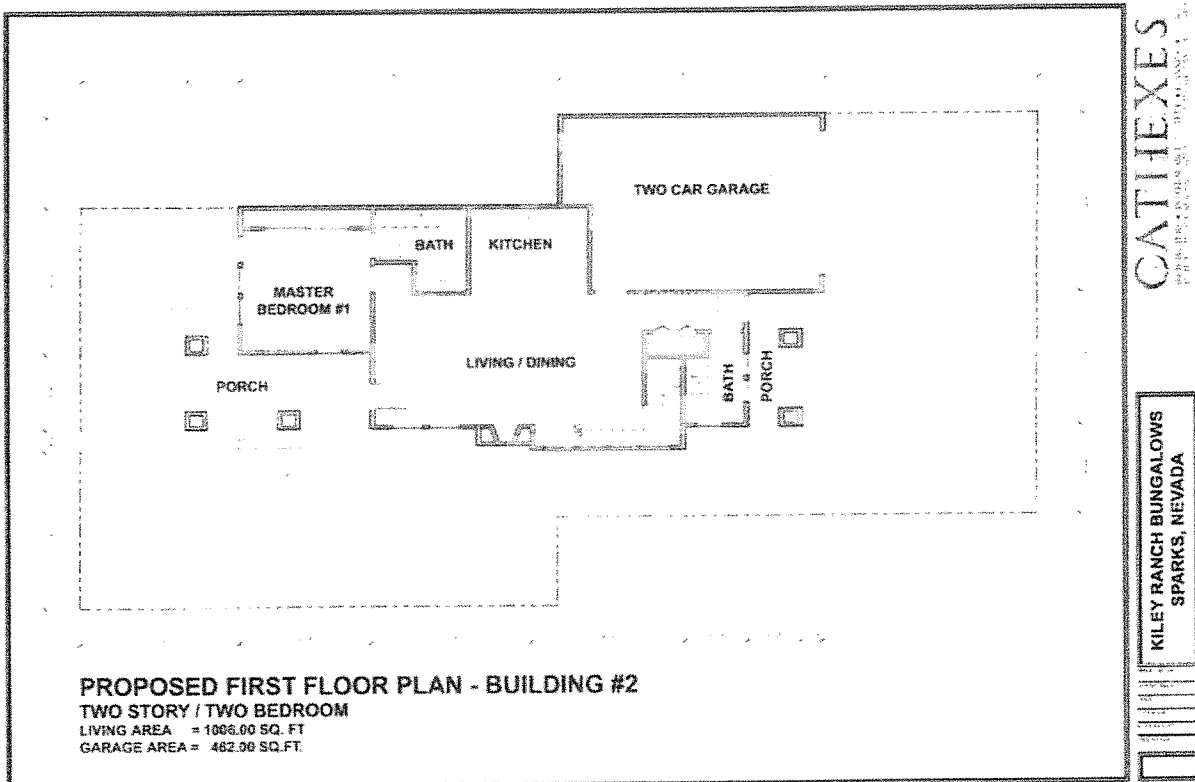
*Figure 2-96*



**Right Side Elevation Plan #2 - Two Story / Two Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-97*



*Figure 2-98*

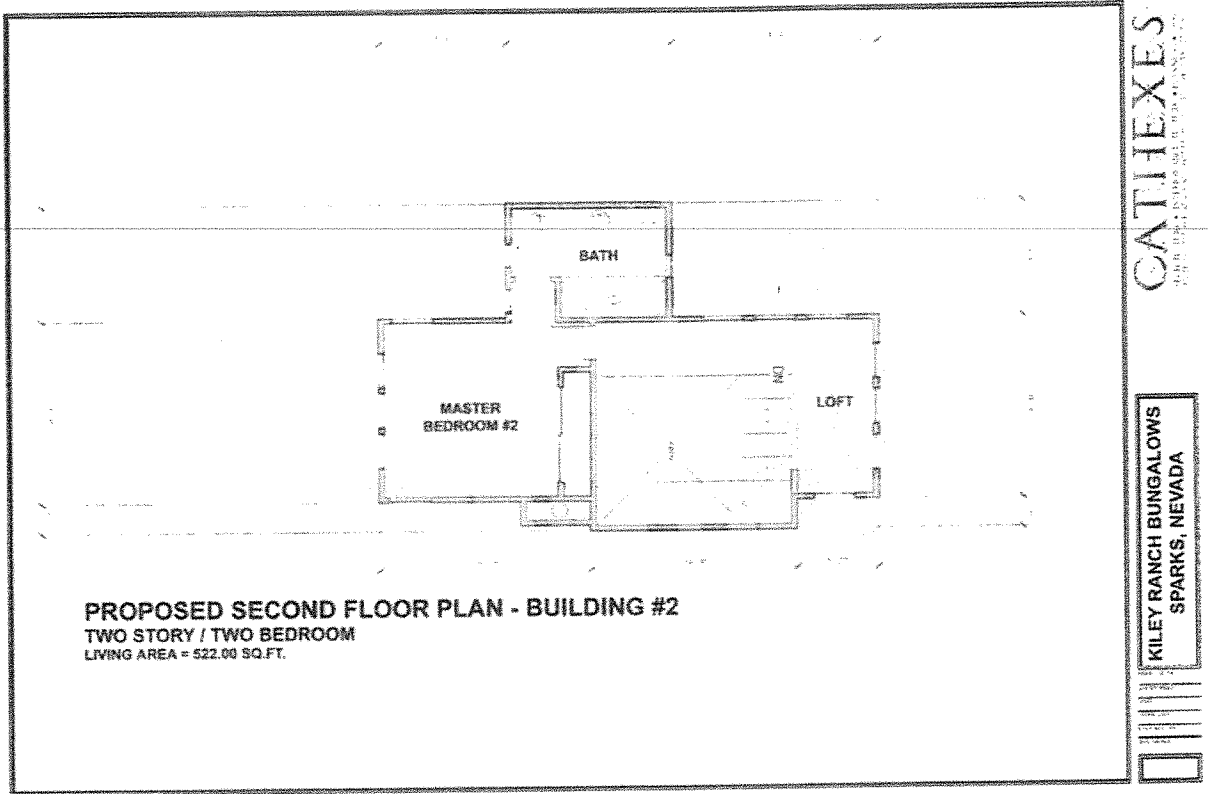
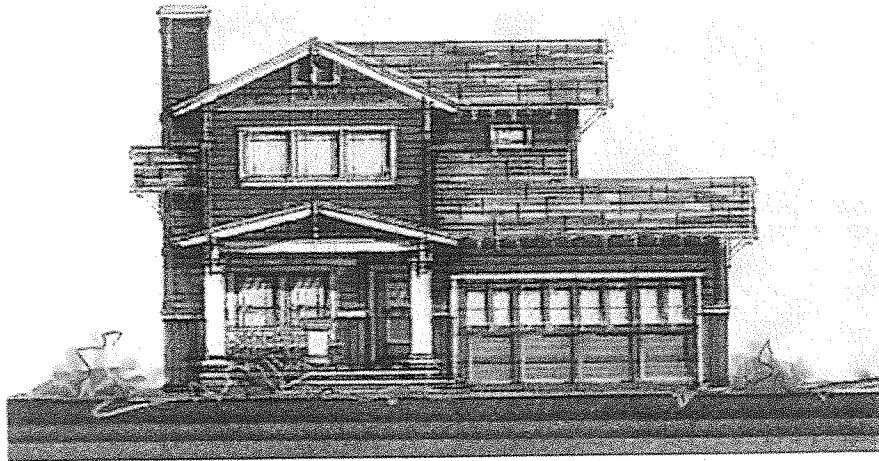


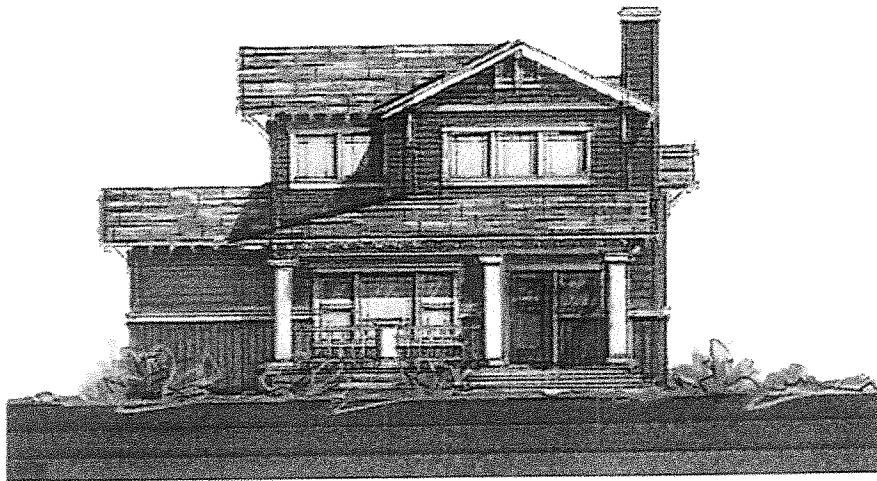
Figure 2-99



Front Elevation Plan #3 - Two Story / Three Bedroom  
Kiley Ranch Bungalows

01.20.03

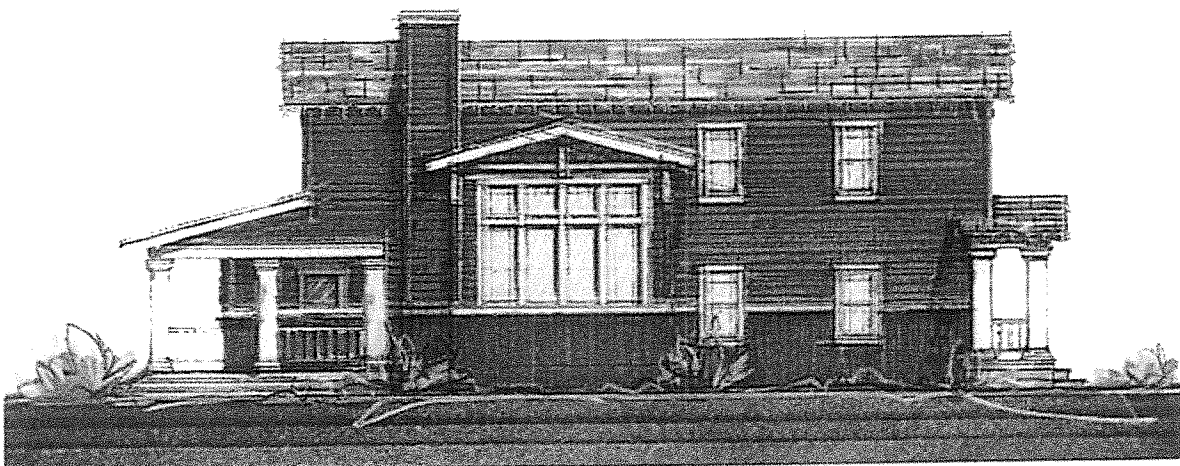
Figure 2-100



**Rear Elevation Plan #3 - Two Story / Three Bedroom  
Kiley Ranch Bungalows**

01.20.03

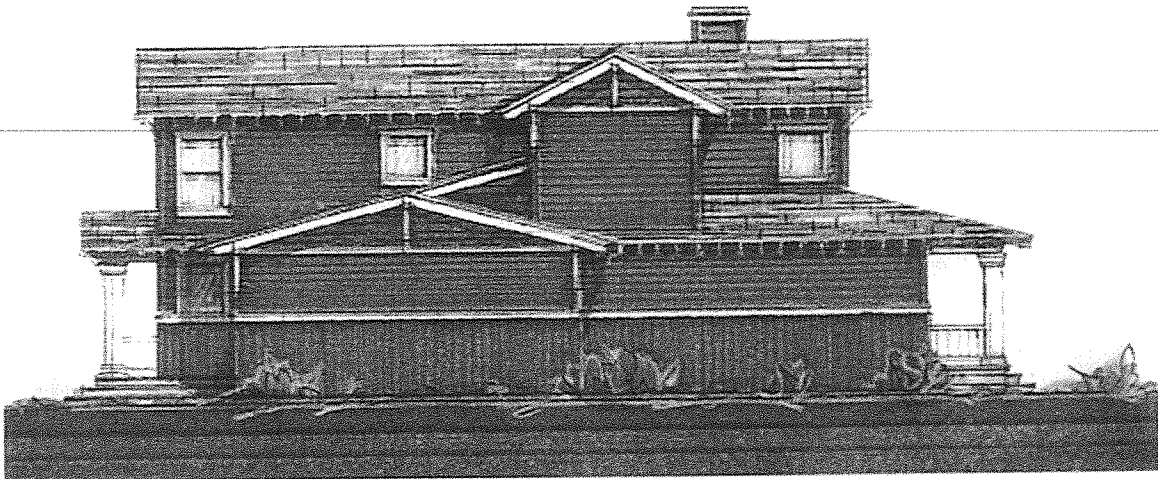
*Figure 2-101*



**Left Side Elevation Plan #3 - Two Story / Three Bedroom  
Kiley Ranch Bungalows**

01.20.03

*Figure 2-102*



**Right Side Elevation Plan #3 - Two Story / Three Bedroom  
Kiley Ranch Bungalows**

01.20.03

Figure 2-103

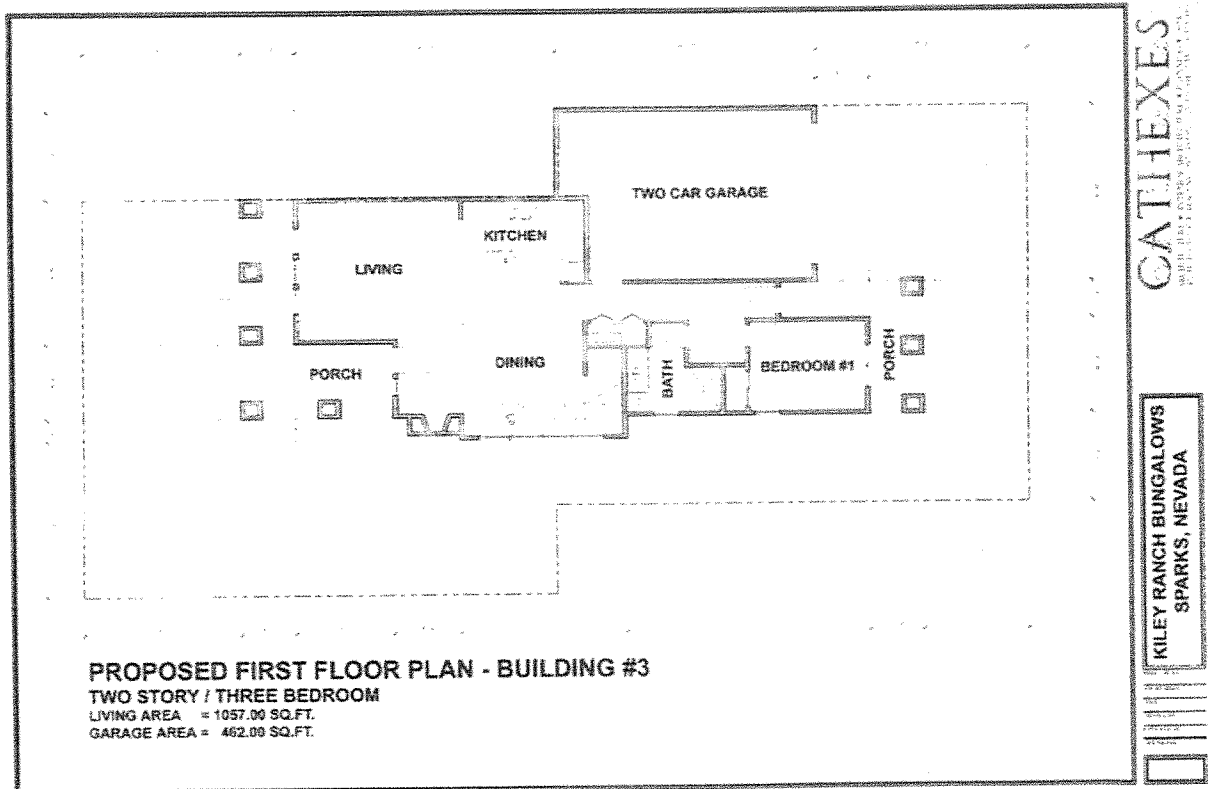


Figure 2-104

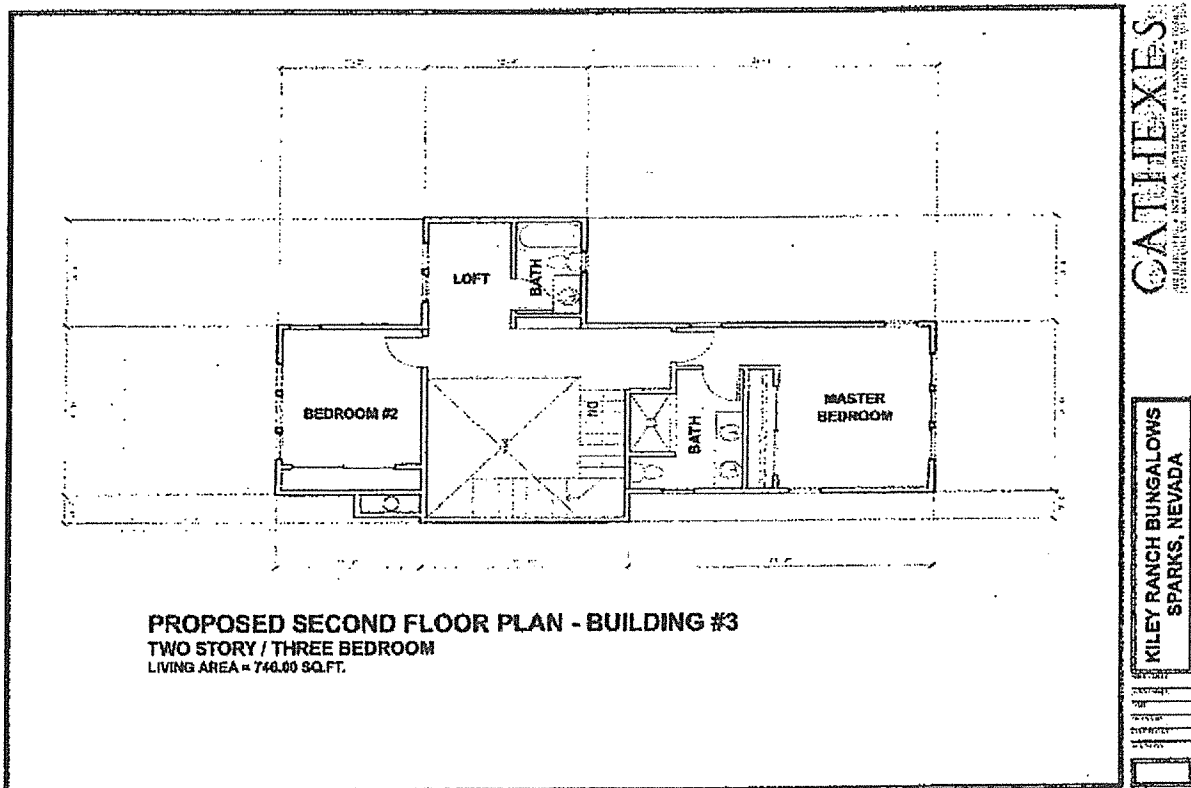


Figure 2-105

16. Architectural Design Review and Approval

To maintain the quality and integrity of the PD design concepts, the Master Developer has established a requirement that all Parcel Developers submit plans and elevations of their proposed residential architecture to the HOA Architectural Review Committee (initially the Master Developer). Each Parcel Developer not associated with the Master Developer will be required to submit the following for architectural review: (1) residential floor plans; (2) elevations (front, sides, and rear); (3) exterior siding materials list and color palette; (4) fencing plans; (5) front yard landscape plans or illustrations; and (6) common area landscaping plans within the Parcel Developer's neighborhood.

Unless otherwise agreed, the Architectural Review Committee (initially the Master Developer) shall have up to 15 working days to approve the design of residential homes or to notify the Parcel Developer of any deficiencies in their submission or design. The 15-day review period shall commence upon full submission of the required architectural package by the Parcel Developer to the Architectural Review Committee (or Master Developer). The Architectural Review Committee shall issue all approvals or notification of deficiencies in design or submittal in writing. Once approved, a Kiley Ranch Design checklist shall be signed and submitted to the City of Sparks with the approved plans for their review and approval.



## **VI. Model Parks and Construction Yards**

### **A. Temporary Sales Office within a Model Home and Model Home Complex**

Within this planned development (PD) there are several different products and a Sales Office along with Model Homes. The following requirements will apply to all three parcels within this planned development. Documentation shall be submitted with sales office remodel.

#### **1. Parking Lot Landscaping**

The Model Home, Sales Office, and associated parking lot shall be landscaped to the approval of the City of Sparks.

#### **2. Certificate of Occupancy**

The landscaping and irrigation shall be installed, per the approved plans, prior to the issuance of the Certificate of Occupancy.

#### **3. Xeriscaping**

The landscaping plans shall exemplify xeriscape-style design and plant material on a minimum of one model home.

#### **4. Parking Requirements**

A paved parking area shall be provided with two (2) parking spaces per model home in the complex. The parking area shall include a minimum of one (1) van accessible handicapped parking space that complies with City of Sparks code at the time of development. All parking spaces shall be per City of Sparks code.

#### **5. Hours of Operation**

Hours of operation shall not be longer than Sunday through Thursday, 9:00 am to 7:00 pm, Fridays and Saturdays 9:00 am to 10:00 pm.

#### **6. Removal After Completion**

All signs, parking lot paving, trap fences, sale offices, etc. shall be removed and a standard single-family home left in place.

### **B. Construction Yards**

Within the planned development, construction yards will be necessary. The following requirements will apply to all zoning classifications within the planned development.

#### **1. Surface Requirements**

An all weather surface will be applied to the construction yard.

**2. Fencing**

A 6 to 8 foot chain link fence will be constructed around the construction yard. All materials will be stored and screened behind the fence.

**3. Clean-up**

Once the construction yard is no longer necessary, the area will be cleaned up to the satisfaction of the Administrator.

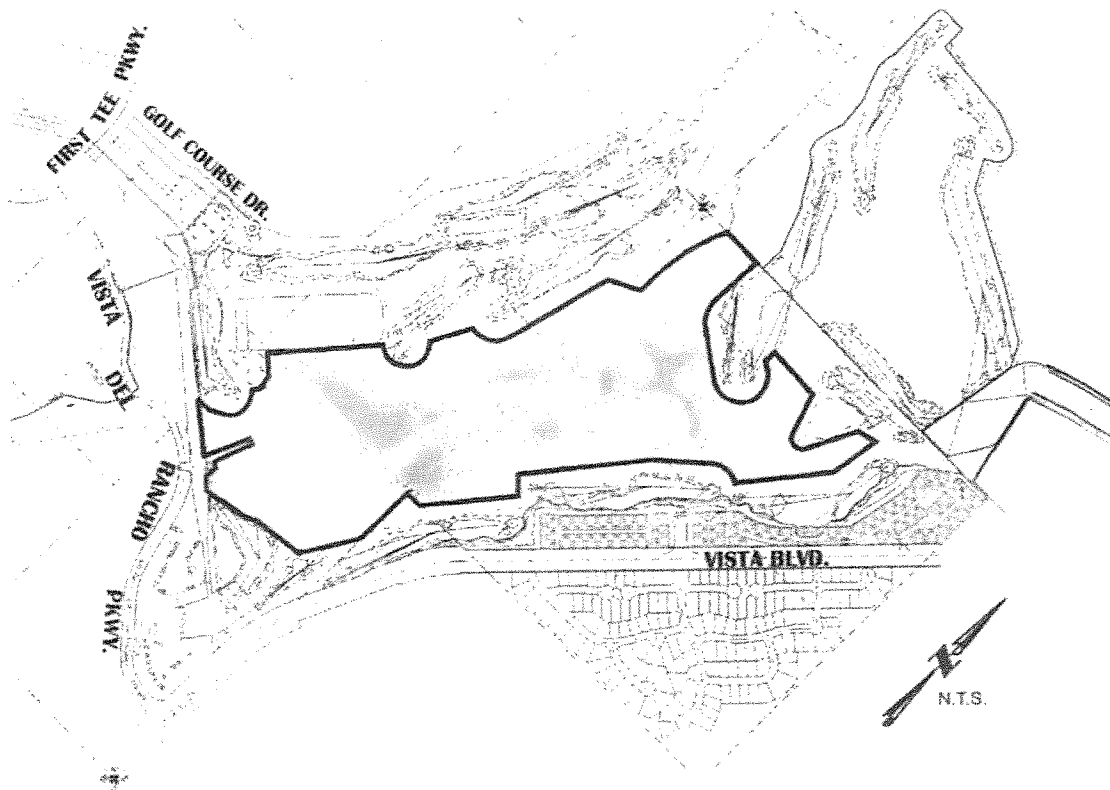
**4. Hours of Construction**

Working hours shall be from 7am to 7pm daily except Sunday. No construction activity is allowed on Sunday. No construction activity will take place before or after these hours without the written permission of the Administrator.

## VII Open Space Development Plan, Design Standards and Regulations

### A. Development Parcel One (1) –Final Development Plan

The majority of parcel one is jurisdictional wetlands. The remainder of the parcel is currently used as irrigation storage ponds, and the entire area has historically been used as pasture land. Refer to *Figure 2-106*.



*Figure 2-106*  
Parcel 1  
Wetlands Parcel

#### 1. Parcel Specifications

Acreage	± 91 acres
Proposed Master Plan Designation	Open Space
Proposed Zoning	NUD
Jurisdictional Wetlands	86 acre 94 %
Uplands	5 acre 6 %

The Kiley Ranch may retain ownership of this parcel for an undefined period of time. It will be used by the Kiley Ranch in the future as open space to meet requirements for residential development on the north portion of the ranch, excluding the Northeast Golf Community. An alternative may be to dedicate this parcel to the City with the golf course, if the open space is credited for future use in the Kiley Ranch.

Once single-family development begins to occur on the north portion of the ranch, this area may be deeded to a master homeowners association or to the City of Sparks who will own and manage the property in the future. The entire open space parcel will be "banked" to meet the open space requirement for all future single-family residential development on the Kiley Ranch beyond the Northeast Golf Community. If Development Parcel One is deeded to the City, the following shall apply. With each final map submitted in the North Kiley Ranch, a portion of the banked open space will be allocated to meet the specific requirements for that final map. This "banked" open space of approximately 35 acres shall only be used to meet the needs of the Kiley Ranch.

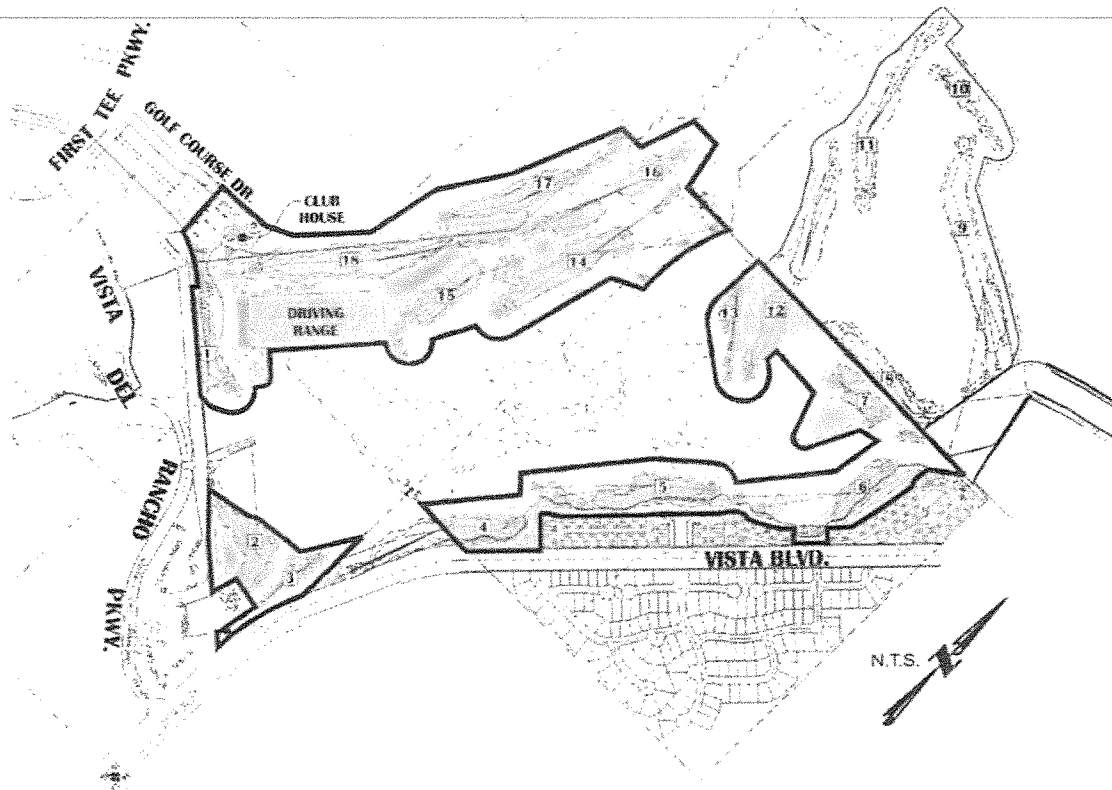
Tracking of these open space credits will be as currently administrated by Kiley Ranch LLC assigning the open space at close of escrow and notifying the City of Sparks about each transfer.

## **2. Limitation on Future Public Access**

The City of Sparks current Planned Development Ordinance does not count any form of open space as meeting the 20% open space requirement unless it is owned and maintained by a private homeowners association. Because of this requirement, Parcel One (1) may remain under private ownership and maintenance. Given the potential liability associated with a Master Homeowners Association allowing public access, it will likely be prohibited. Should the city allow some portion of this area to be counted as open space, and it is deeded for public ownership, then public access may be possible.

## B. Development Parcel Two (2) Final Development Plan

This golf course parcel will be deeded by the Kiley Ranch to the City of Sparks for development of a public, 18 hole course with a driving range, club house, cart storage, parking lot for  $\pm 180$  cars, practice putting green and other support facilities. Refer to *Figure 2-107*.



**Figure 2-107**  
Parcel 2  
Golf Course

### 1. Parcel Specifications

Acreage	$\pm 122$ acres
Proposed Master Plan Designation	Open Space
Proposed Zoning	NUD
Jurisdictional Wetlands	31 acre 25 %
Uplands	91 acre 75 %

## 2. Current Property Ownership

The preliminary design for the course anticipates 13 holes of the course (1 thru 7 and 13 thru 18) will be included in this parcel, while the other 5 holes (8 thru 12) will be on property currently owned by Barker Homes and included in the Pioneer Meadows Planned Development. A portion of Hole #4 is located on a portion of BLM controlled land. (Refer to *Figure 2-105*) The City of Sparks currently has a permit in place for use of this property for construction of Vista Boulevard. (Permit # N-59826) The city may choose to not use this parcel, or request use of it from BLM for recreation and public purpose.

## 3. City of Sparks Responsibility

A preliminary design for the golf course is to be prepared to a level suitable for estimating actual construction costs. If this initial effort is successful in determining that the course can be built for the budgeted amount, then the City of Sparks shall sell the bonds and complete the design work to allow for public funding of the golf course construction. The timing of the bond sale and timing of construction of the course is controlled by the City of Sparks.

## 4. Course Routing

The course routing will create a very unique setting for golf. The existing wetland environment will border the course through most of the Kiley Ranch property, creating a variety of visual experiences and unique golf challenges. The addition of ponds along the route for irrigation and drainage management will provide additional variety and challenge to the golf experience. The large lake on the Pioneer Meadows portion of the route will also be a unique experience. Refer to the golf course design standards for specific design concepts that will be used in each of these areas of the course. (The plans are not part of this Handbook)

## 5. Planned Facilities

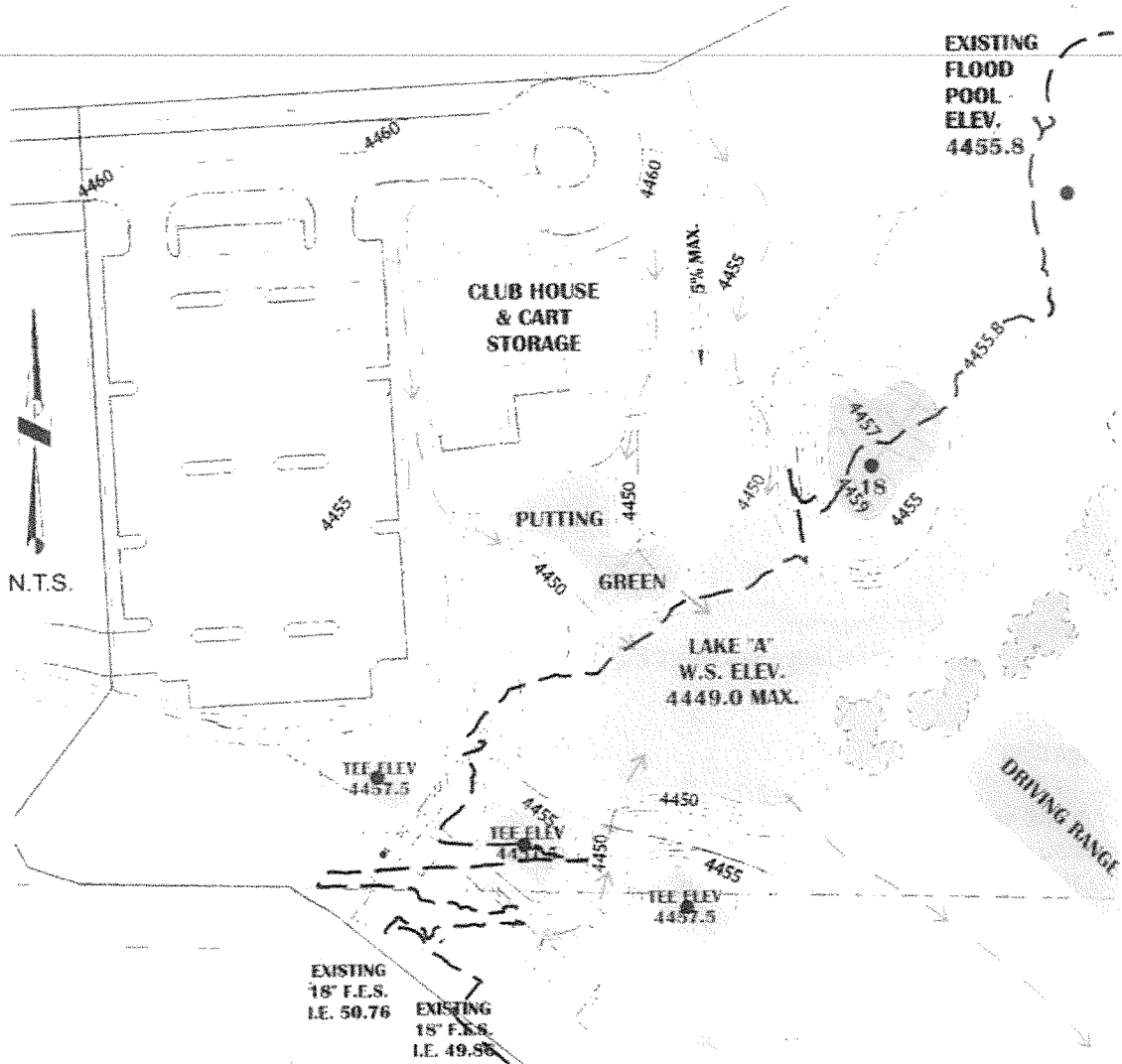
The following preliminary list of facilities will be included within Parcel 1

- Tees, greens, and fairways for 13 holes of golf
- Driving Range (without night lighting) in the clubhouse area
- Practice putting green
- Clubhouse, including meeting rooms, cart storage on the lower level, pro shop, starter area, restaurant/snack bar area, restrooms, locker rooms, and other support facilities
- Parking lot for ±180 cars

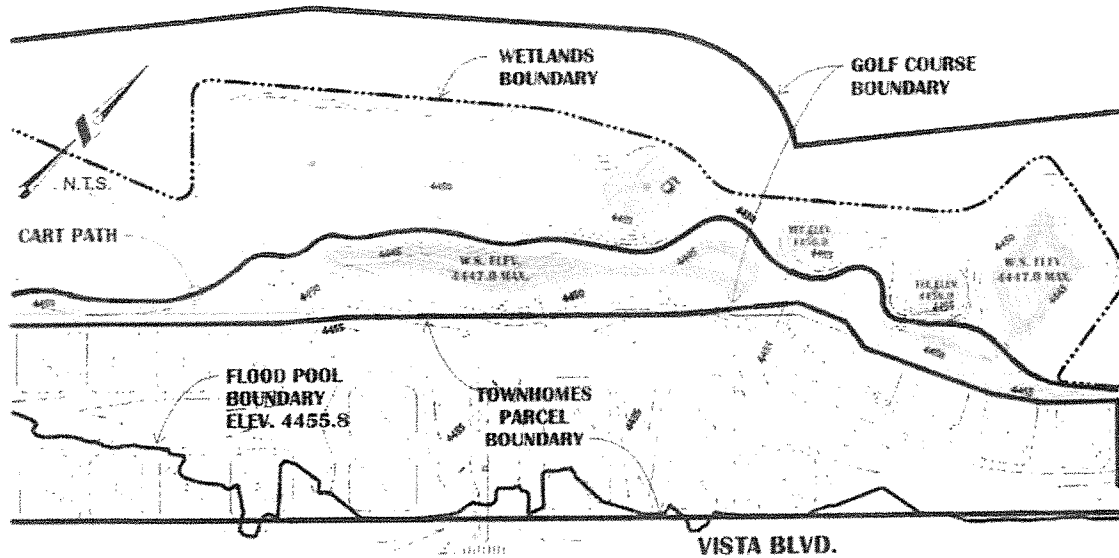
## 6. Grading

As mentioned in previous sections, the grading for the course will include the provision of additional detention volume. Ground water will be a determining factor in some areas. The eastern portion of the course has ground water within 6 to 7 feet of the existing surface based on existing conditions on site and prior geotechnical reports. The western edge of the course has ground water within 4 feet of the surface adjacent to the wetlands and 9 to 13 feet on the north end of the proposed course. (Refer to geotechnical reports in appendix)

The tees and greens for the golf course will be elevated, up to or above the elevation of the flood pool to minimize any damage that may occur in a major 100-year flood event. Refer to the clubhouse area *Figure 2-108* and Parcel #4 Final Development Plan, *Figure 2-109* for illustrations of grading concepts.



**Figure 2-108**  
**Preliminary Concept of**  
**Clubhouse Area**



**Figure 2-109**  
**Preliminary Grading Concept**  
**Adjacent to Townhomes Development Parcel 4**

## 7. Irrigation

The course will be irrigated with reclaimed water. The City of Sparks reclaimed water trunk line runs through the course. Refer to **Figure 2-110 Utility Connections**. The Kiley Ranch #3 main pressure reducing/meter station will be located near the clubhouse. Refer to clubhouse area layout in **Figure 2-110**. The reclaimed water will be delivered to the lakes and ponds in the course for storage and then pumped out for irrigation in the evening, during non-playable hours. Tail water from upstream pastures will be collected in cutoff ditches located northerly of Golf Course Drive and westerly of the golf course and conveyed to Lake "A". Additional tail water cutoff ditches will need to be developed all along the western edge of the course.



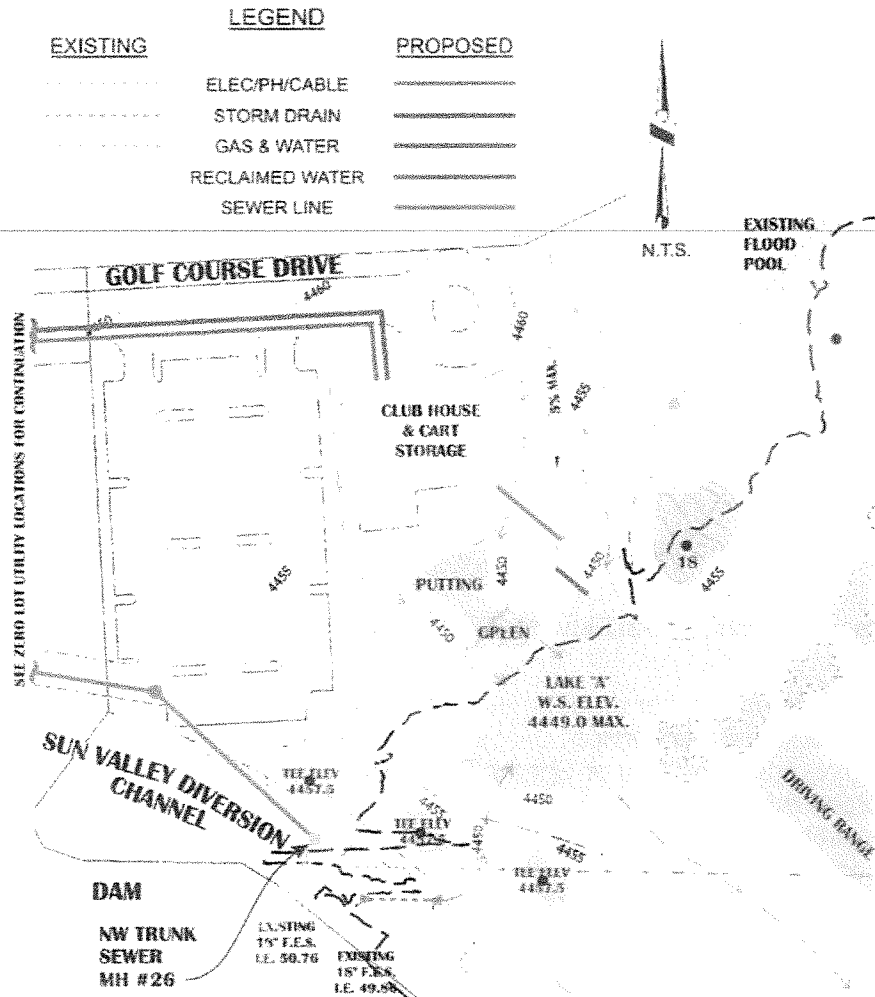


Figure 2-110  
Preliminary Utility Connections

## 8. Utility Layout and Connections

### a. Sanitary sewer

The Northwest Trunk sewer was recently constructed along the west side of the golf course. The connection to the clubhouse will occur, along with the extension of the 16" sanitary sewer main to serve Parcel #5 and other portions north for future development on the Kiley Ranch.

### b. Water

Potable water service will come from an extension of a water line through Parcel #5 from the 16" main line in the First Tee Parkway extension. Refer to Parcel #5 Final Development Plan

### c. Gas, electric, telephone, and cable

Service will come from facilities constructed in Clubhouse Road from the extensions in First Tee Parkway.

## VII. Golf Course Design Standards and Regulations

### A. Implementation

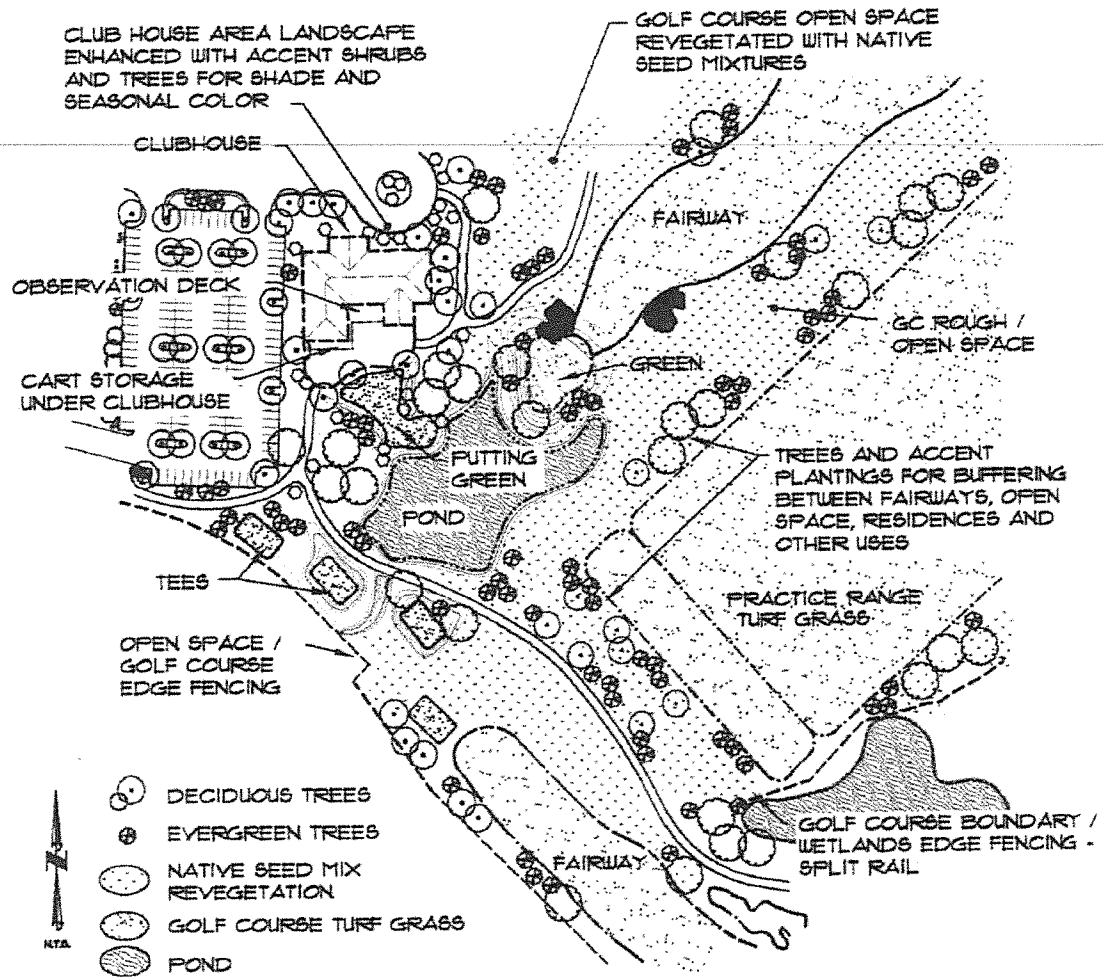
The Golf Course Developer will provide for the preparation of all plans and specifications necessary for submittal for Site Plan Review processed through the City of Sparks. The Master Developer and the Kiley Ranch Owners will utilize a checklist to review conformance with these standards. The checklist will include a certification by the Master Developer and the Kiley Ranch Owners, or their designated representatives, to the City of Sparks that certifies review and conformance with these Design Standards. The City of Sparks will not proceed to finalize plans lacking the required certification from the Kiley Ranch.

### B. Allowed Uses

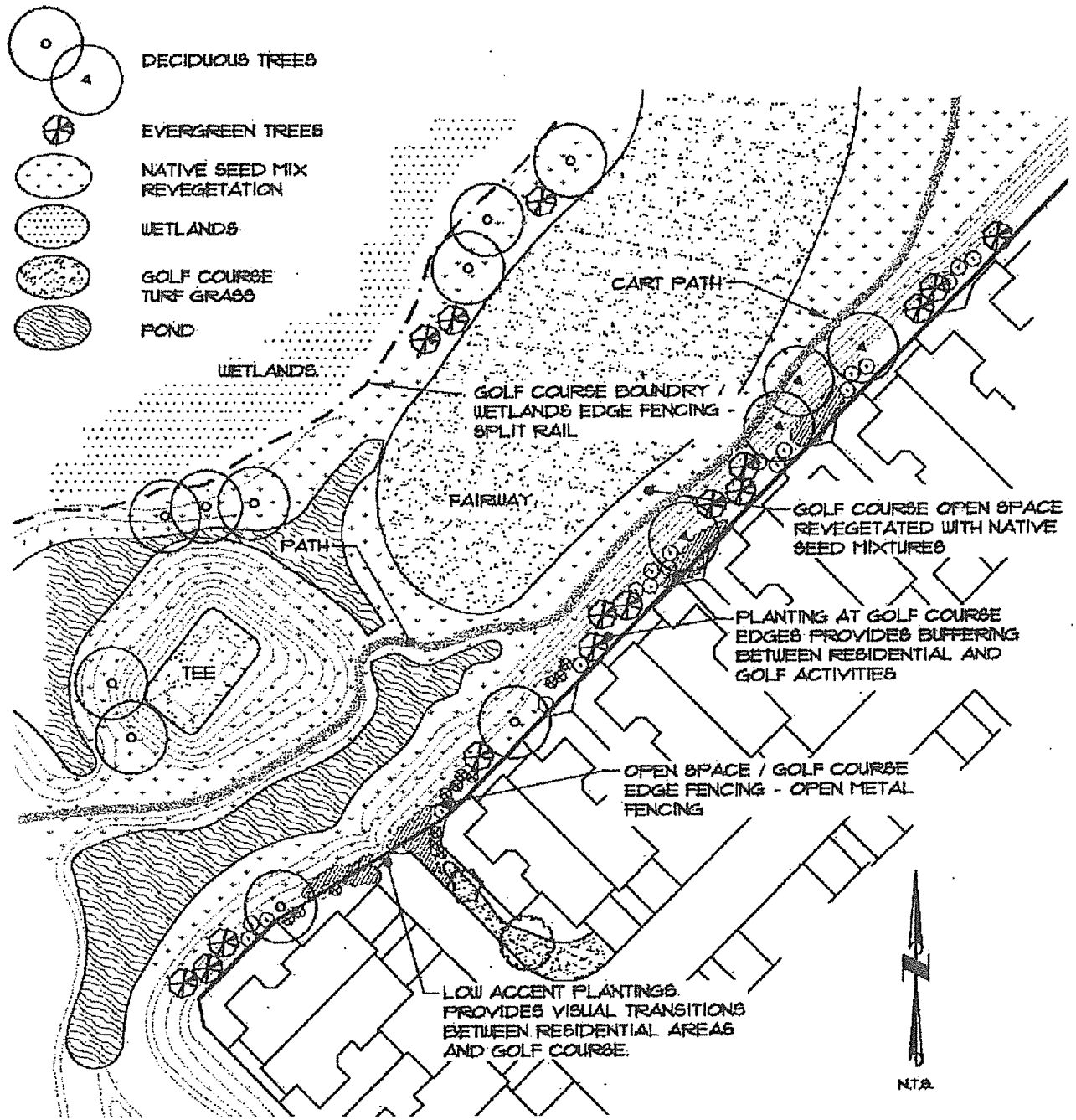
The proposed golf course, including the following facilities:

1. Clubhouse and Architectural Elevations including:
  - a. Proshop and starter area;
  - b. Restaurant & bar service
  - c. Office space for City of Sparks Parks and Recreation Department services and organizations
  - d. Meeting/multi-purpose room;
  - e. Locker/restroom facilities;
  - f. Cart storage/maintenance area;
  - g. Outdoor observation deck;
  - h. Mechanical/HVAC facilities
  - i. Accessory uses
2. Public Golf Facilities (Refer to *Figure 2-111*) including:
  - a. An eighteen hole (18) Par-72 course, with approximately 13 holes governed by these design standards;
  - b. Practice green;
  - c. Driving range;
  - d. Irrigation pump facility and storage ponds
3. Parking and vehicular circulation (Refer to *Figure 2-108 & 2-111*):
  - a. 180 spaces provided based upon a standard of 10 spaces/hole plus employees
  - b. Drop-off area at clubhouse entry can accommodate buses;

All of these facilities (except those dedicated to maintenance and operation support) shall be open for public use and enjoyment. All of these facilities shall be owned by the City of Sparks or other entities with operations and maintenance conducted by a golf concessionaire or the City of Sparks.



**Figure 2-111**  
**Golf Course Landscape – Preliminary Concept**



**Figure 2-112**  
**Golf Course Landscape Treatment – Preliminary Concept**

## **C. Golf Course Buildings**

### **1. Grading Standards - Preliminary**

- a. Grading will be such that disruption to existing adjacent site features will be minimized and existing adjacent vegetation protected.
- b. Berms and sloped areas shall transition smoothly with no abrupt changes.
- c. Any on-site detention or drainage, if required, shall be aesthetically pleasing and integrated into the overall site development/landscape plan.
- d. Retaining walls will be a maximum of 6" in height and terraced if higher walls are required. Walls shall be designed in a manner and with materials that will harmonize with the design and materials of the golf course buildings.

### **2. Building Configurations- Preliminary**

- a. Clubhouse:
  1. The clubhouse will be the largest structure within the golf development and establish the thematic image of the project. Sited at the end of the main project entry drive, the clubhouse shall overlook the golf course and serve as a landmark to orient visitors.
  2. The clubhouse will potentially be a two-story building set into a slope with the main floor at grade with the entry drive in the front and serving as the second story and observation deck at the rear of the building.
  3. The lower floor, oriented to the golf course, may provide at-grade access to the cart storage facility and starter area.

### **3. Height and Setbacks - Preliminary**

- a. The clubhouse shall be limited to a three-story structure presenting a maximum two-story façade toward the street and a maximum three-story façade toward the golf course.
- b. All structures within the golf course development will be setback from public street frontages as the golf course is set within the interior of the overall Northeast Golf Community development.
- c. Parcel 4 building setbacks from the edge of the publicly maintained golf course shall be a minimum of 10 feet.

## **D. Architectural Standards**

### **1. Style and Character**

Buildings shall have an uncluttered "Contemporary Western Ranch" design theme consistent with the overall Kiley Ranch Development Theme. The City of Sparks may choose to use a pre-manufactured building as a clubhouse for the initial development. A maximum 2-year time limit shall be permitted. Architectural elevation will be submitted with the Site Plan Review package, per City of Sparks requirements and processed in compliance with City of Sparks Site Plan Review process.

### **2. Materials and Colors**

#### **a. Materials (will be submitted for Site Plan Review)**

Visual order can be best achieved through consistent and dominant use of a few natural materials throughout each project. Selection of stairway, trash enclosure, and site furniture materials should be compatible with the main building materials.

The use of traditional southwestern materials such as split-face adobe-like block, stucco or plaster surfaces should be considered.

Current technology should be considered in all construction material selections to accomplish maximum energy efficiencies, and ease of maintenance.

#### **b. Roofing (will be submitted for Site Plan Review)**

The following should be considered for any pitched roof or accent other than flat roofs.

- Clay tile
- Concrete tile
- Metal (non-reflective)
- Composition Shingles, Elk 40-year Presitque architectural high definition composition roofing material or equivalent

#### **c. Colors (will be submitted for Site Plan Review)**

Colors for all building materials should be in pastels or earthtones. White or off-white should also be acceptable. By conforming to this range of colors, development will maintain unity and a distinctive identity throughout the Kiley Ranch Development.

An accent color should be used and applied to trim, fascias, awnings, door panels and miscellaneous architectural features.

### **3. Architectural Elements (will be submitted for Site Plan Review)**

#### **a. Structures**

1. Balconies and freestanding walls shall appear as an integral part of design. If balconies face public rights-of-way, the storing of equipment, furniture, bicycles, etc., on those balconies will be prohibited.

2. Garages, if included, shall conform to the selection of construction materials and roof pitch of the associated structures.
3. Trash and service areas shall have solid screening compatible with other building elements.
4. Stairways shall either be incorporated into the structure as part of a foyer (which may be open) or incorporated between buildings as part of a breezeway.
5. The various structures, site furnishing, and appurtenances throughout the golf course shall be consistent with the overall project theme and architectural character of the clubhouse.

**b. Fencing**

Fencing associated with the clubhouse, if required, will be open metal, (Refer to wood, or masonry and consistent with the building's architectural character. Refer to *Part IV Fencing, Lighting, and Signage Design*.)

**c. Lighting**

Lighting shall be minimized to that required for public safety. Fixtures shall incorporate "cut-off" luminaires and/or other features to prevent glare intrusion to adjacent properties. Lighting for any approved nighttime use of the course facilities (i.e. meetings, special programs, social events, etc.) shall follow these standards. All lighting fixtures and their visual effects shall be compatible with the architectural character of buildings and/or structures as well as reinforce the overall "ranch" theme of the development. Refer to *Section IV Fencing, Lighting, and Signage Design*.

**4. Lighting Standards (will be submitted for Site Plan Review)**

- a. **Lighting Levels:** Consistent overall lighting and overly bright lighting shall be prohibited. Lighting for pedestrian movement shall only illuminate entrances, changes in grade, path intersections, and other areas along paths.
- b. **Structural Lighting:** Night lighting of building exteriors shall be prohibited.
- c. **Lighting Height:** Area lighting shall be directed downward with no splay of lighting directed off-site beyond the property line. Any light source over 10 feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from areas off-site beyond the property line.

**5. Miscellaneous Standards (will be submitted for Site Plan Review)**

**a. Signage**

Golf course entry signage shall be limited to monument signs in conformance with City of Sparks standards.

**b. Service/Loading Areas**

An integral part of the structure(s) and will not be oriented to any public right-of-way, or adjacent residential area. The intent is to assure that these facilities are located in the most inconspicuous manner possible. All service or storage areas will be screened to the approval of the Master Developer, the Kiley Ranch Owners, Parks and Recreation Director, and the Administrator.

**c. Garbage and Refuse Disposal**

Trash enclosures will match the colors and architecture of the associated building to the approval of the Master Developer, the Kiley Ranch Owners, and the Administrator. Trash enclosures will be located to the approval of the Parks and Recreation Director and Administrator and the city's garbage collection franchise holder.

**d. Concealment of Trash Receptacle**

Receptacle for trash and rubbish or garbage will be so placed and kept as not to be visible from any street, lot, parcel, or open space or golf course, except at times when refuse collections are being made.





## KILEY RANCH PRELIMINARY LANDSCAPE PALETTE

<b>STREET TREES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Abies spp.</i>	Fir
<i>Acer platanoides</i>	Norway Maple
<i>Catalpa speciosa</i>	Western Catalpa
<i>Celtis occidentalis</i>	Common Hackberry
<i>Chilopsis linearis</i>	Chitalpa
<i>Crataegus inermis</i>	Hawthorn, Thornless
<i>Fraxinus americana pennsylvanica 'Autumn Purple'</i>	Autumn Purple Ash
<i>Fraxinus sp.</i>	Ash
<i>Gleditsia tricanthos 'Shademaster'</i>	Honeylocust
<i>Ginkgo biloba</i>	Maidenhair Tree
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree
<i>Koelrueteria paniculata</i>	Goldenrain Tree
<i>Malus sp.</i>	Crabapple
<i>Pinus spp.</i>	Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Prunus spp.</i>	Flowering Cherry, Plum, etc.
<i>Pyrus calleryana</i>	Callery Pear
<i>Pyrus sp.</i>	Pear
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus rubra</i>	Red Oak
<i>Sorbus sp.</i>	Mountain Ash
<i>Tilia cordata</i>	Greenspire Linden
<i>Tilia sp.</i>	Linden
<i>Tilia tomentosa</i>	Silver Linden

## KILEY RANCH PRELIMINARY LANDSCAPE PALETTE

<b>COMMON AREA/OPEN SPACE TREES</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Abies concolor</i>	White Fir
<i>Abies sp.</i>	Fir
<i>Acer negunda</i> 'Variegatum'	Variegated Box Elder
<i>Acer rubrum</i>	Swamp Red Maple
<i>Acer sp.</i>	Maple
<i>Aesculus hippocastanum</i>	Buckeye, Horsechestnut
<i>Calocedrus decurrens</i>	Incense Cedar
<i>Catalpa sp.</i>	Catalpa
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cupressocyparis glabra</i> 'Blue Ice'	Arizona Cypress
<i>Cupressocyparis leylandii</i> 'Leylandii'	Leyland Cypress
<i>Cupressus sp.</i>	Cypress
<i>Fraxinus sp.</i>	Ash
<i>Juniperus spp.</i>	Juniper
<i>Larix sp.</i>	Larch
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Morus sp.</i>	Mulberry
<i>Picea sp.</i>	Spruce
<i>Platanus x acerifolia</i>	London Plane Tree
<i>Psuedotsuga menziesii</i>	Douglas Fir
<i>Quercus palustris</i>	Pin Oak
<i>Quercus sp.</i>	Oak
<i>Tilia sp.</i>	Linden
<b>Note: Trees listed as street trees may also be used for Common Area/Open Space trees.</b>	

## KILEY RANCH PRELIMINARY LANDSCAPE PALETTE

<b>Shrubs</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Amelanchier alnifolia</i>	Western Serviceberry
<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance
<i>Arborvitae</i>	Arborvitae
<i>Aronia arbutifolia</i>	Red Chokeberry
<i>Aronia melanocarpa</i>	Chokeberry
<i>Artemisia</i> spp.	Sage
<i>Berberis</i> sp.	Barberry
<i>Buddleia</i> spp.	Butterfly Bush
<i>Caragana arborescens</i>	Peashrub
<i>Caragana microphylla</i>	Little Leaf Peashrub
<i>Caragana pygmaea</i>	Dwarf Peashrub
<i>Caryopteris clandonensis</i>	Blue Mist
<i>Ceanothus</i> sp.	Wild Lilac
<i>Cercocarpus ledifolius</i>	Curl-Leaf Mountain Mahogany
<i>Chamaebatiaria millefolium</i>	Fern Bush
<i>Chrysothamnus nauseosus</i>	Rabbit Brush
<i>Cornus sericea</i> 'Isanti'	Red-Osier Dogwood
<i>Cornus stolonifera</i>	Red Twig Dogwood
<i>Cotoneaster congestum</i>	Rockspray Cotoneaster
<i>Cotoneaster</i> sp.	Cotoneaster
<i>Cytisus</i> spp.	Moonlight Scotch Broom
<i>Ephedra viridis</i>	Mormon Tea
<i>Euonymus alatus</i>	Burning Bush
<i>Forsythia</i>	Forsythia
<i>Genista</i> spp.	Lydia Broom
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Hibiscus syriacus</i>	Rose of Sharon
<i>Juniperus</i> sp.	Juniper
<i>Lavandula</i> spp.	'Provence' Lavender
<i>Phlox</i> spp.	Phlox



## KILEY RANCH PRELIMINARY LANDSCAPE PALETTE

<b>PERENNIALS &amp; GRASSES</b>	
<u>Botanical Name</u>	<u>Common Name</u>
<i>Achillia spp.</i>	Common Yarrow
<i>Aster spp.</i>	Daisy
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Foerster's Feather Reed Grass
<i>Cerastium tomentosum</i>	Snow-in-Summer
<i>Coreopsis spp.</i>	Coreopsis
<i>Delosperma</i>	Ice-Plant
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Erianthus ravennae</i>	Ravenna Grass
<i>Eriogonum u.</i>	Sulphur Flower
<i>Gaillardia grandiflora</i>	Blanket Flower
<i>Gaura lindheimeri</i>	Showy Gaura
<i>Helictotrichon sempervirens</i>	Blue Oat Grass
<i>Hemerocallis spp.</i>	Daylily
<i>Iris germanica</i>	Bearded Iris
<i>Knipfolia</i>	Red Hot Poker
<i>Linum lewissii</i>	Blue Flax
<i>Michalmus spp.</i>	Michalmus Daisy
<i>Miscanthus spp.</i>	Grass
<i>Nepita spp.</i>	Catmint
<i>Oenothera berlandieri</i>	Mexican Evening Primrose
<i>Panicum virgatum</i> 'Heavy Metal'	Switch Grass
<i>Perovskia atriplicifolia</i>	Russian Sage
<i>Phlox subulata</i>	Creeping Phlox
<i>Rudbeckia</i>	Black-Eyed Susan
<i>Sedum spectabile</i> 'Autumn Joy'	Sedum Autumn Joy
<i>Stipa gigantea</i>	Giant Feather Grass



